

GENERAL NOTES

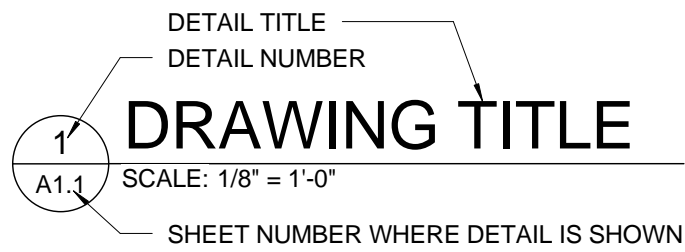
- These documents indicate materials and methods of interior construction to set the standard quality and/or performance. Other materials and/or methods shall be considered for acceptance by the Architect/Owner, provided they do not affect the visible appearance from that indicated whatsoever.
- The term "work" means the construction and services required by the contract documents and includes all labor, materials, equipment and services required to complete the work. All work shall be limited to that shown on the contract documents. No additional work shall be done without prior written approval of the Architect. Any additional work performed without the Architect's consent shall be done at the Contractor's sole expense.
- The Contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements and conditions and other information known to the Contractor with the contract documents before commencing work. The Contractor shall notify the Architect at once of any errors, inconsistencies or omissions.
- "Typical" means the condition is the same for all similar conditions, unless noted otherwise.
- Unless otherwise provided in the contract documents, the Contractor shall secure and pay for all building permits and governmental fees, licenses and inspections necessary for proper execution and completion of the work.
- The Contractor shall comply with and give notices required by laws, ordinances, rules, regulations and lawful orders of public authorities bearing on the performance of the work.
- The Contractor, promptly after being awarded the contract shall prepare and submit for the Owner's and Architect's information a contractor's construction schedule for the work. The Contractor shall notify the Architect of any items which may cause the project to be delayed. The Contractor shall not knowingly purchase or order any material or equipment whose delivery schedule could cause the project to be delayed.
- Materials, dimensions and other conditions not otherwise indicated in the drawings shall be interpreted as having the same meaning as the most similarly detailed detail if not more fully defined elsewhere on the drawings.
- All dimensions are considered critical and are to be as indicated on the drawings, unless discrepancies are discovered as per general note #3. Do not scale from the drawings to determine dimensions for construction.
- The Architect has not conducted any investigation as to the presence of any hazardous material including asbestos, within the extent of the work. The Architect will not accept responsibility for the identification and removal of any hazardous material or for any effect from its presence. If any such material is found in the project, the Contractor should notify the Owner's representative and the Architect immediately.
- The Contractor shall not use any materials containing asbestos or other hazardous material for the construction of the project.

CLEANING

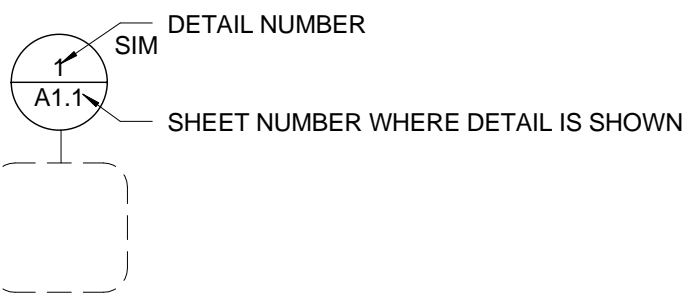
- Do not use materials which will create hazards to health or property, or which will damage surfaces.
- Provide covered containers for deposit of waste materials, debris, and rubbish.
- Execute periodic cleaning to keep building, site, and adjacent areas free of accumulations of waste materials, rubbish, and debris resulting from construction operations.
- Prior to Substantial Completion, remove construction tools, scaffolding, equipment, machinery, and surplus materials.
- Broom clean and vacuum interior areas prior to start of surface finishing, and continue cleaning to eliminate dust.
- Schedule cleaning operations so that dust and other contaminants will not fall on or adhere to wet or newly coated surfaces.
- Remove debris and rubbish from pipe chases, plenum, and other closed or remote spaces, prior to enclosing space.
- Store volatile wastes in covered metal containers and remove from premises daily. Prevent accumulation of waste which creates hazardous conditions. Provide adequate ventilation during use of volatile or noxious substances.
- Collect and remove waste materials, debris and rubbish from site periodically until execution of final cleaning and dispose off site in lawful manner. Do not burn or bury rubbish and waste materials on Project site. Do not dispose of volatile wastes or hazardous materials such as mineral spirits, oil, or paint thinner in storm or sanitary drains. Do not dispose of wastes into streams or waterways.
- Conduct cleaning and disposal operations to comply with local ordinances and anti-pollution laws.
- Clean exposed interior hard-surfaced finishes to dirt-free condition, free of stains, films, and similar foreign substances. Remove labels which are not required as permanent labels. Clean glossy materials to polished condition: remove foreign substances, polish reflective surfaces to clear shine.
- Clean carpet and similar soft surfaces, removing debris, soil, and excess nap. Clean resilient flooring and associated bases.
- Clean light fixtures and lamps: replace burned-out lamps.
- Maintain cleaning until Project is accepted by Owner.
- Perform all cleaning of manufactured items and finishes in compliance with manufacturer's recommendations.
- Contractor may utilize adjacent restroom facilities. After construction is completed, restrooms shall be cleaned.
- During dusty activities provide plastic protection to contain dust and debris to limited area (shower and toilet room area). Clean dust and debris within reasonable time frame.
- Schedule loud activities with owner prior to beginning (i.e. removal of ceramic tile and concrete slab).
- Protect existing carpet in locker room and existing rubber flooring in existing Lobby area. Lay down plastic or paper or plywood to protect existing flooring from dirt, debris, dents, depressions, marks, etc.
- Protect all existing lockers and doors within existing locker room from damage and dust.
- Protect all existing toilet fixtures, urinals, shower heads, soap dispensers, etc. to remain.

SYMBOLS

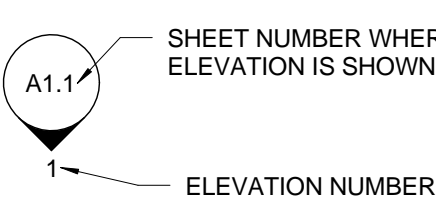
DRAWING REFERENCE



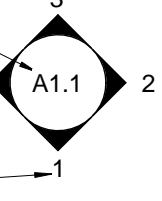
PLAN DETAIL REFERENCE



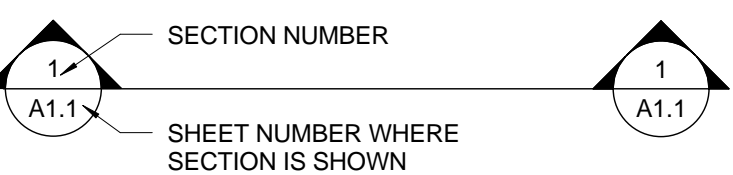
ELEVATION REFERENCE



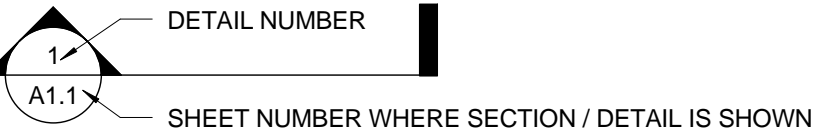
ALTERNATE ELEVATION REFERENCE



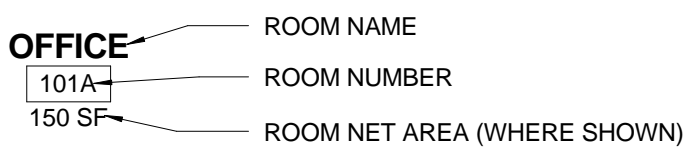
BUILDING SECTION REFERENCE



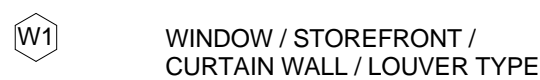
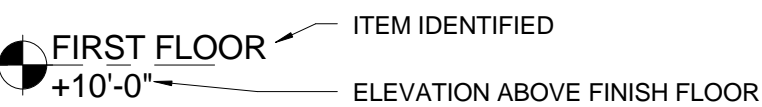
WALL SECTION / DETAIL SECTION REFERENCE



ROOM TAG SYMBOL

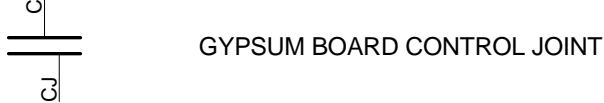
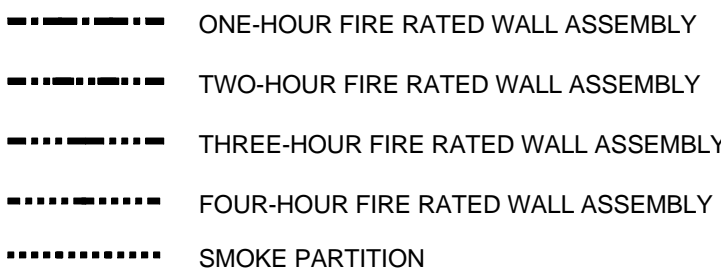


DOOR TAG SYMBOL

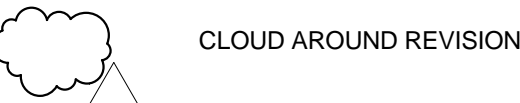


FIRE RATED WALL SYMBOLS

NOTE: SEE PARTITION TYPES FOR UL DESIGNATION NO.'S



REVISION SYMBOL



ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISHED GRADE
ALUM	ALUMINUM
ARCH	ARCHITECTURAL
BLKG	BLOCKING
BU	BUILT-UP ROOF
CL	CENTERLINE
CJ	CONTROL JOINT
CLG	CEILING
CTR	CENTER
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
DIA	DIAMETER
DS	DOWN SPOUT
DWG	DRAWING
EXT	EXTERIOR
EXIST	EXISTING
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
ELEVATOR	ELEVATOR
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
FIN	FINISH
FD	FLOOR DRAIN
FOF	FACE OF FINISH
FOS	FACE OF STUD
FR	FIRE RETARDANT
FV	FIELD VERIFY
GA	GAUGE
GALV	GALVANIZED
GYP BD	GYPSUM BOARD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HT	HEIGHT
HVAC	HEATING VENTILATION AIR-CONDITIONING
ID	INSIDE DIAMETER
INSUL	INSULATION
JT	JOINT
LAV	LAVATORY
LAV	LAVATORY
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MO	MASONRY OPENING
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
ORD	OVERFLOW ROOF DRAIN
OS	OVERFLOW SCUPPER
P	PAINT
PL	PLATE, PROPERTY LINE
PR	PRESSURE TREATED
PT	RADIUS
R, RAD	REQUIRED
REQD	REQUIRED
RD	ROUGH OPENING
RO	SQUARE FEET
SF	SIMILAR
SIM	SIMILAR
SPEC	SPECIFICATIONS
SS	STAINLESS STEEL
STD	STANDARD
STR	STRUCTURAL
SUSP	SUSPENDED
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VCT	VINYL COMPOSITION TILE
W/	WITH
WC	WATER CLOSET
WR	WATER RESISTANT
WWF	WELDED WIRE FABRIC
WD	WOOD
WP	WORKING POINT
VTR	VENT THROUGH ROOF



PLUMBING REPAIRS AND MODIFICATIONS WBS

STATE PROJECT NUMBER CP00419682
ARCHITECT'S PROJECT NUMBER 15.162.00

FEBRUARY 27, 2015

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INDEX OF DRAWINGS

ARCHITECTURAL

T1 COVER SHEET, INDEX OF DRAWINGS
A1 DEMOLITION FLOOR PLAN, CEILING PLAN, AND NOTES
A2 RENOVATION FLOOR PLAN, CEILING PLAN, AND NOTES

MECHANICAL

M1 FLOOR PLAN, NOTES, SCHEDULES, AND LEGEND

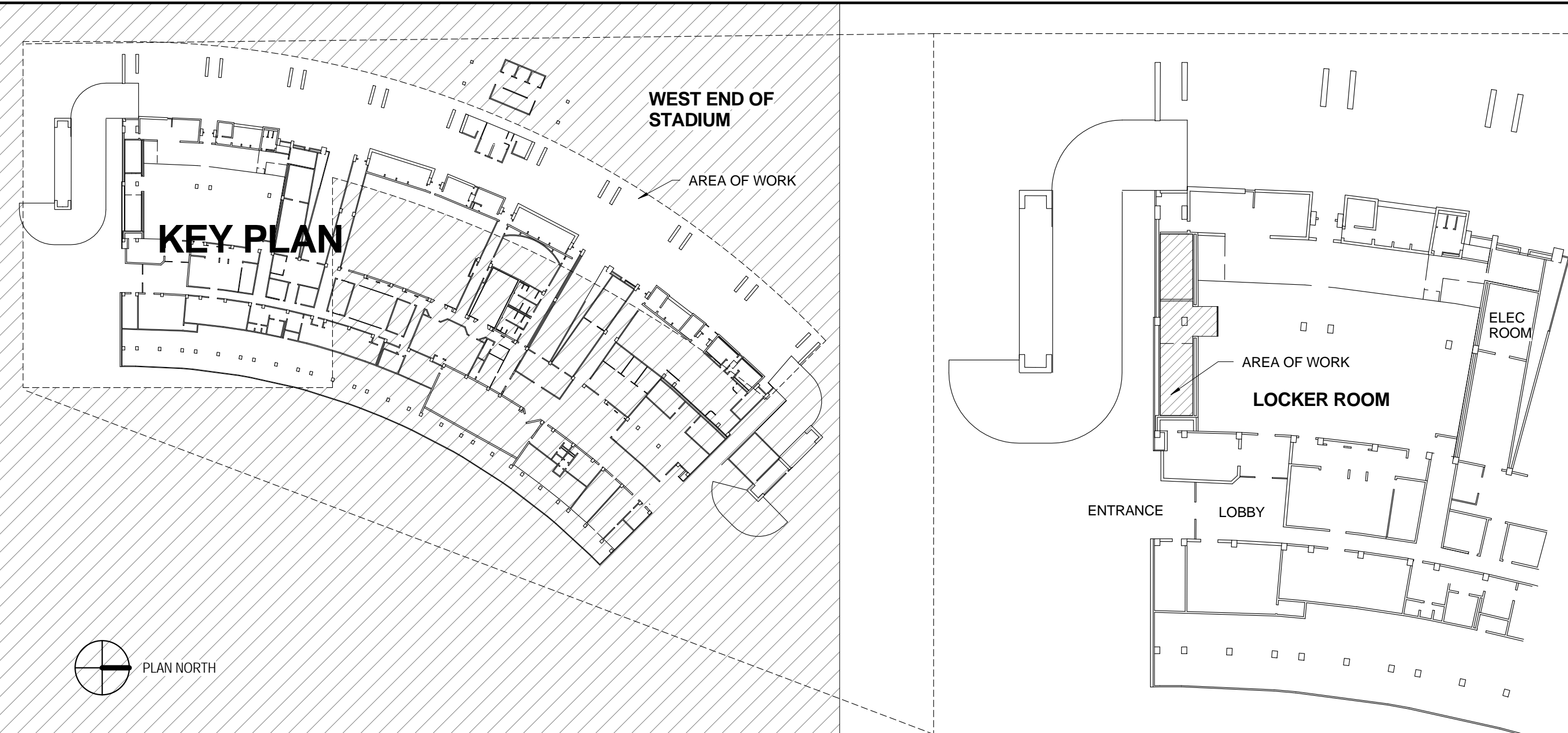
PLUMBING

P1 GROUND LEVEL FLOOR PLAN - A
P2 GROUND LEVEL FLOOR PLAN - B
P3 FLOOR PLANS, NOTES, SCHEDULE, AND LEGEND

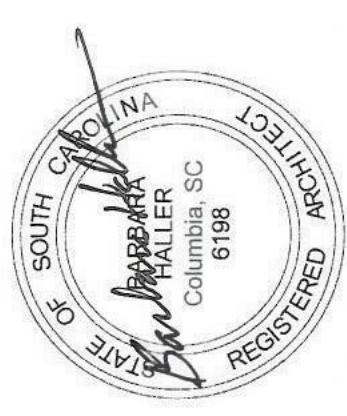
ELECTRICAL

E1 ELECTRICAL DEMOLITION & RENOVATION PLANS

KEY PLANS



A/E SEAL



CORPORATE SEAL



PROJECT TITLE

PLUMBING REPAIRS AND MODIFICATIONS, WBS

UNIVERSITY OF SOUTH CAROLINA

GEORGE RODGERS BLVD.
AND BLUFF ROAD

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PHASE

BID DOCUMENTS

ISSUE DATE 02/27/15
PROJECT NO. 15.162.00
STATE PROJECT NO. CP00419682

REVISION DATE

TITLE

COVER SHEET,
INDEX OF
DRAWINGS

SHEET NO

T1

DEMOLITION NOTES TO SHEET

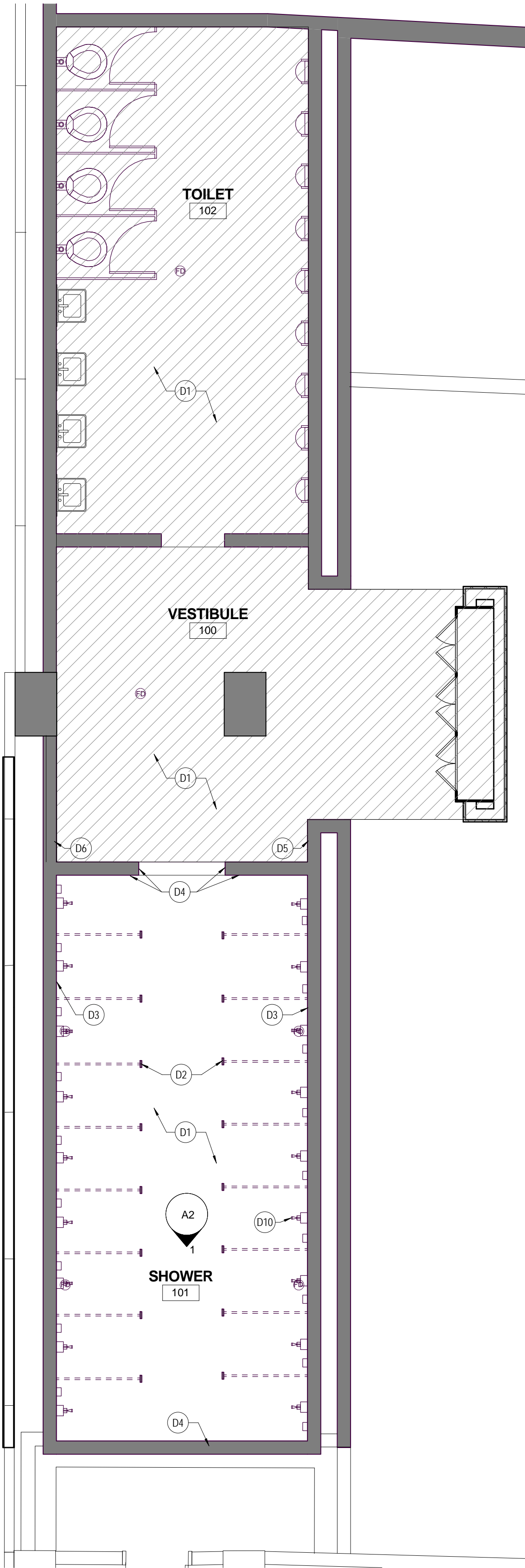
- D1 EXISTING TILE FLOOR TO REMAIN; PROTECT EXISTING FLOORING DURING DEMOLITION AND CONSTRUCTION IN AFFECTED AREA.
- D2 ALL EXISTING SHOWER PARTITIONS TO BE REMOVED PRIOR TO DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR SHALL NUMBER PARTITIONS AS TO LOCATION AND PLACE ALL FASTENERS IN NUMBERED BAGS. STORE PARTITIONS IN LOCATION PROVIDED BY OWNER. CONTRACTOR IS RESPONSIBLE TO REPLACE ALL DAMAGED OR UNUSABLE FASTENERS. COORDINATE REMOVAL WITH OWNER AND ARCHITECT PRIOR TO MOVING.
- D3 REMOVE EXISTING WALL TILE AND ASSOCIATED GROUT IN THEIR ENTIRETY AT ALL WALLS AROUND ROOM. TILE BASE TO REMAIN; PROTECT EXISTING TILE BASE DURING DEMOLITION AND CONSTRUCTION IN AFFECTED AREA. REMOVE MASONRY WALL FROM A HEIGHT OF 2'-8" AFF AND ABOVE AS REQUIRED TO ACCESS PIPING. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING STABILITY OF WALL DURING CONSTRUCTION; REFER TO PLUMBING FOR DETAILS REGARDING NEW PIPING. PATCH MASONRY WALL WITH CMU TO MATCH EXISTING. SMOOTH FLUSH AND PREPARE SURFACE TO RECEIVE NEW WALL TILE.
- D4 REMOVE EXISTING WALL TILE AND ASSOCIATED GROUT IN THEIR ENTIRETY AT ALL WALLS AROUND ROOM. TILE BASE TO REMAIN; PROTECT EXISTING TILE BASE DURING DEMOLITION AND CONSTRUCTION IN AFFECTED AREA. PREPARE SURFACE TO RECEIVE NEW WALL TILE.
- D5 REMOVE CMU AS REQUIRED TO INSTALL PIPING, VALVE AND 16" x 16" ACCESS PANEL - SEE PLUMBING FOR DETAILS.
- D6 REMOVE CMU AS REQUIRED TO INSTALL PIPING, VALVE AND 24" x 24" ACCESS PANEL - SEE PLUMBING FOR DETAILS.
- D7 EXISTING CEILING AND ASSOCIATED STRUCTURE TO BE REMOVED IN THEIR ENTIRETY. REMOVE AND CLEAN ALL LOOSE DEBRIS, INSULATION, ETC. ABOVE CEILING AREA. ALLOW ARCHITECT AND OWNER TO REVIEW PRIOR TO INSTALLING NEW CEILING.
- D8 EXISTING LIGHT FIXTURES TO BE REMOVED; SAVE AND PROTECT FOR REINSTALLATION IN SAME LOCATION. CLEAN AND RELAMP PRIOR TO REINSTALLING.
- D9 EXISTING GRILLE TO BE REMOVED IN ITS ENTIRETY - SEE MECHANICAL.
- D10 EXISTING SHOWER HEADS TO BE REMOVED - SEE PLUMBING.

GENERAL DEMOLITION NOTES:

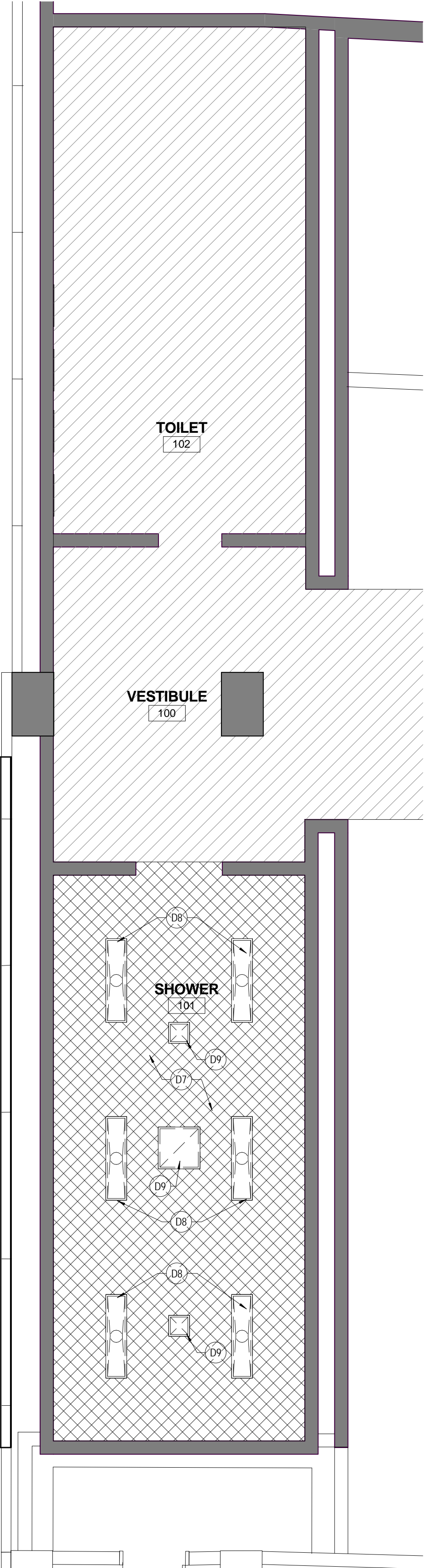
- A. EXISTING CONDITIONS ILLUSTRATED AS OF FEBRUARY 16, 2015.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS FOR SIZES, QUANTITIES, AND LOCATIONS.
- C. ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION. PROTECT EXISTING CARPET AND LOBBY FLOOR FINISHES DURING DEMOLITION AND NEW WORK.
- D. IN AREAS OF WORK, AT EXISTING WALLS TO REMAIN WHERE OUTLETS, THERMOSTATS, LIGHT FIXTURES, PIPING, ATTACHMENTS AND DEVICES ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES TO MATCH ADJACENT. FINISH WALL TO MATCH ADJACENT.
- E. PROTECT ALL EXISTING WALL ITEMS TO REMAIN (HOOKS, ELECTRIC HAIR DRYERS, ETC).
- F. OWNER TO REMOVE AND REINSTALL EXISTING SOAP DISPENSERS.

DEMOLITION LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING ITEM TO BE REMOVED
- AREA NOT INCLUDED IN SCOPE
- EXISTING CEILING TO BE REMOVED
- EXISTING LIGHT FIXTURE TO BE REMOVED; SAVE AND PROTECT FOR REINSTALLATION
- EXISTING GRILLE TO BE REMOVED
- EXISTING GRILLE TO BE REMOVED



1 A1 DEMOLITION FLOOR PLAN SCALE: 1/4" = 1'-0"



2 A1 DEMOLITION CEILING PLAN SCALE: 1/4" = 1'-0"



PROJECT TITLE
PLUMBING REPAIRS AND
MODIFICATIONS, WBS
UNIVERSITY OF SOUTH CAROLINA
GEORGE RODGERS BLVD.
AND BLUFF ROAD

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PHASE
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ISSUE DATE 02/27/15
PROJECT NO. 15.162.00
STATE PROJECT NO. CP00419682

REVISION DATE

TITLE
DEMOLITION
FLOORPLAN,
CEILING PLAN AND
NOTES

SHEET NO

RENOVATION NOTES TO SHEET

- 1
- REINSTALL ALL SHOWER PARTITIONS IN SAME LOCATIONS AS REMOVED.
- 2
- INSTALL NEW WALL TILE TO FULL HEIGHT OF WALLS STARTING ABOVE EXISTING TILE BASE - REFER TO TYPICAL TILE PATTERN ELEVATION FOR DETAILS. PROVIDE BULLNOSE AT ENTRANCE AREA CORNERS.
- 3
- INSTALL NEW 16" x 16" ACCESS PANEL (STAINLESS STEEL) FOR PLUMBING VALVE - SEE PLUMBING. EACH ACCESS PANEL TO RECEIVE MORTISE CYLINDER LOCK (1E74-C4 BEST LOCK CYLINDER - OR APPROVED EQUAL PRODUCT).
- 4
- INSTALL NEW 24" x 24" ACCESS PANEL (STAINLESS STEEL) FOR PLUMBING VALVE - SEE PLUMBING. EACH ACCESS PANEL TO RECEIVE MORTISE CYLINDER LOCK (1E74-C4 BEST LOCK CYLINDER - OR APPROVED EQUAL PRODUCT).
- 5
- EXISTING TILE FLOOR TO REMAIN; PROTECT EXISTING FLOORING DURING DEMOLITION AND CONSTRUCTION IN AFFECTED AREA.
- 6
- PAINT WALLS FROM CORNER TO CORNER; PAINT TO MATCH EXISTING.
- 7
- NEW SHOWER HEADS - SEE PLUMBING.

GENERAL RENOVATION NOTES:

- A.
- CONTRACTOR SHALL COORDINATE ALL WORK WITHIN EXISTING AREA WITH OWNER.
- B.
- CONTRACTOR TO CLEAN ENTIRE WORK AREA PRIOR TO BEGINNING WORK. PREPARE ALL SURFACES AS REQ'D TO RECEIVE NEW FINISHES.
- C.
- SEAL PERIMETER OF CEILINGS W/ SILICONE, ANTIMICROBIAL.
- D.
- OWNER TO REMOVE AND REINSTALL EXISTING SOAP DISPENSERS.
- E.
- PATCH CMU INFILL TO MATCH EXISTING AT ALL AREAS REMOVED FOR PLUMBING WORK.

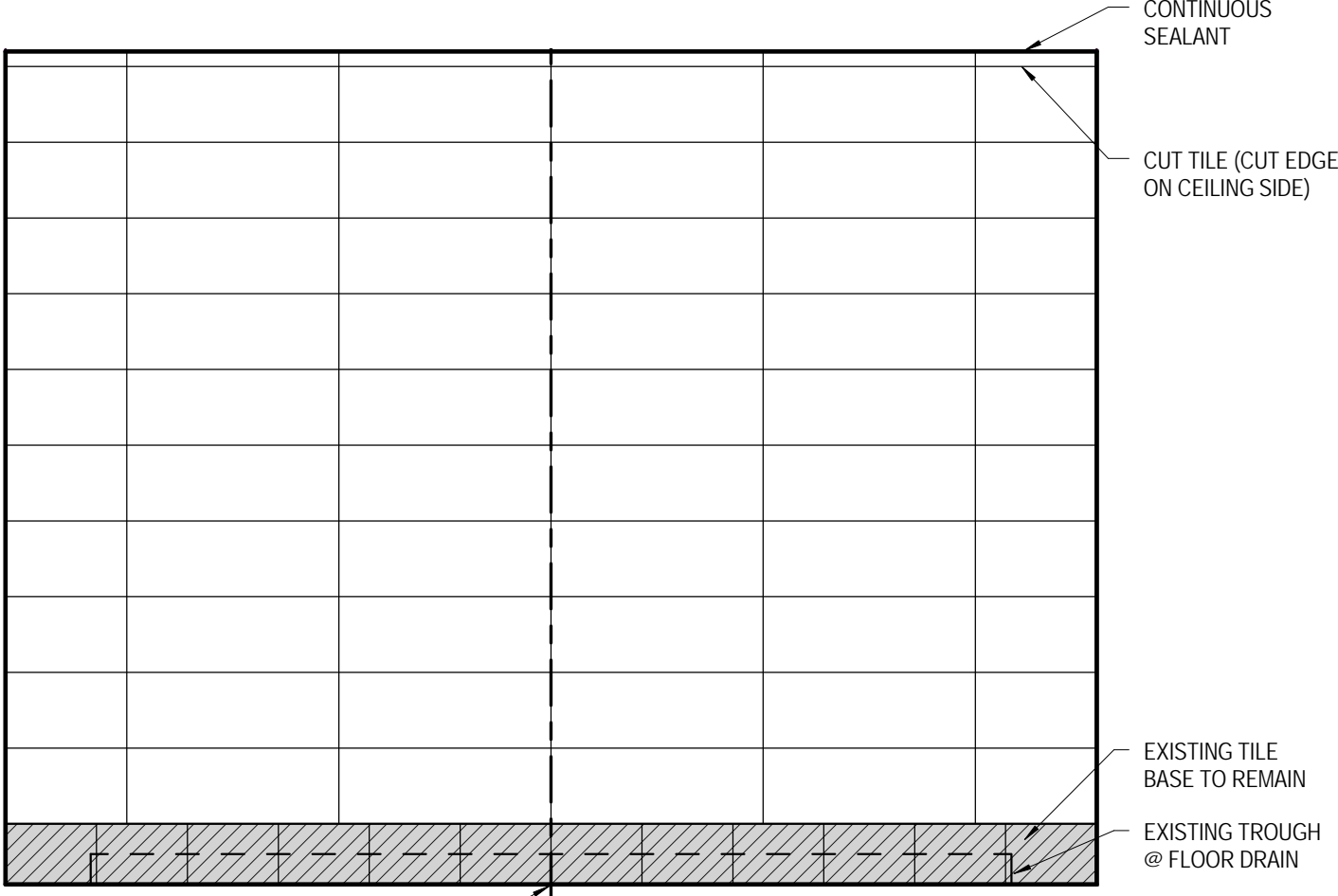
ROOM FINISH SCHEDULE								
ROOM NO	ROOM NAME	FLOOR		WALLS				REMARKS
		FINISH	BASE	NORTH	SOUTH	WEST	EAST	
101	SHOWER	EXISTING	EXISTING	CT-1, GR-1	CT-1, GR-1	CT-1, GR-1	CT-1, GR-1	P-1

REMARKS

1.
- INSTALL NEW WALL TILE TO FULL HEIGHT OF WALLS STARTING ABOVE EXISTING TILE BASE; REFER TO TYPICAL TILE PATTERN ELEVATION FOR DETAILS.

GENERAL FINISH NOTES

- A.
- PREPARE ALL EXISTING WALLS, CEILING, AND FLOORS TO RECEIVE NEW FINISHES AS SCHEDULED.
- B.
- EXISTING WALLS AND EXISTING CEILINGS: AFTER REMOVING PEELING PAINT FROM WALLS, PRIME WITH XIM PEEL BOND PRIMER #1146 AND PAINT WITH 2 COATS OF SHERWIN WILLIAMS PRE-CATALYZED WATERBASED EPOXY EG-SHEL (COLOR TO MATCH EXISTING)
- C.
- NEW CEILING - GYPSUM BOARD ASSEMBLY:
1 LAYER OF 1/2" THICK USG DUROCK EXTERIOR CEMENT BOARD OR APPROVED EQUAL (MAX FASTENER SPACING 6" OC W/ MANUFACTURER APPROVED FASTENERS) W/ 1 LAYER OF 1/2" THICK USG FIBEROCK INTERIOR PANEL AQUA-TOUGH OR APPROVED EQUAL WITH MANUFACTURER APPROVED JOINT FINISHING COMPOUND
- D.
- PREP RITE 200 LATEX PRIMER WITH 2 COATS OF SHERWIN WILLIAMS PRE-CATALYZED WATERBASED EPOXY EG-SHEL (COLOR TO MATCH EXISTING)
- E.
- PROVIDE 1 GALLON MINIMUM OF EACH PAINT TYPE OF EXTRA PAINT TO OWNER AFTER PROJECT IS FINISHED
- F.
- PAINT ALL EXPOSED CONDUIT (NEW/EXISTING) TO MATCH ADJACENT WALL.

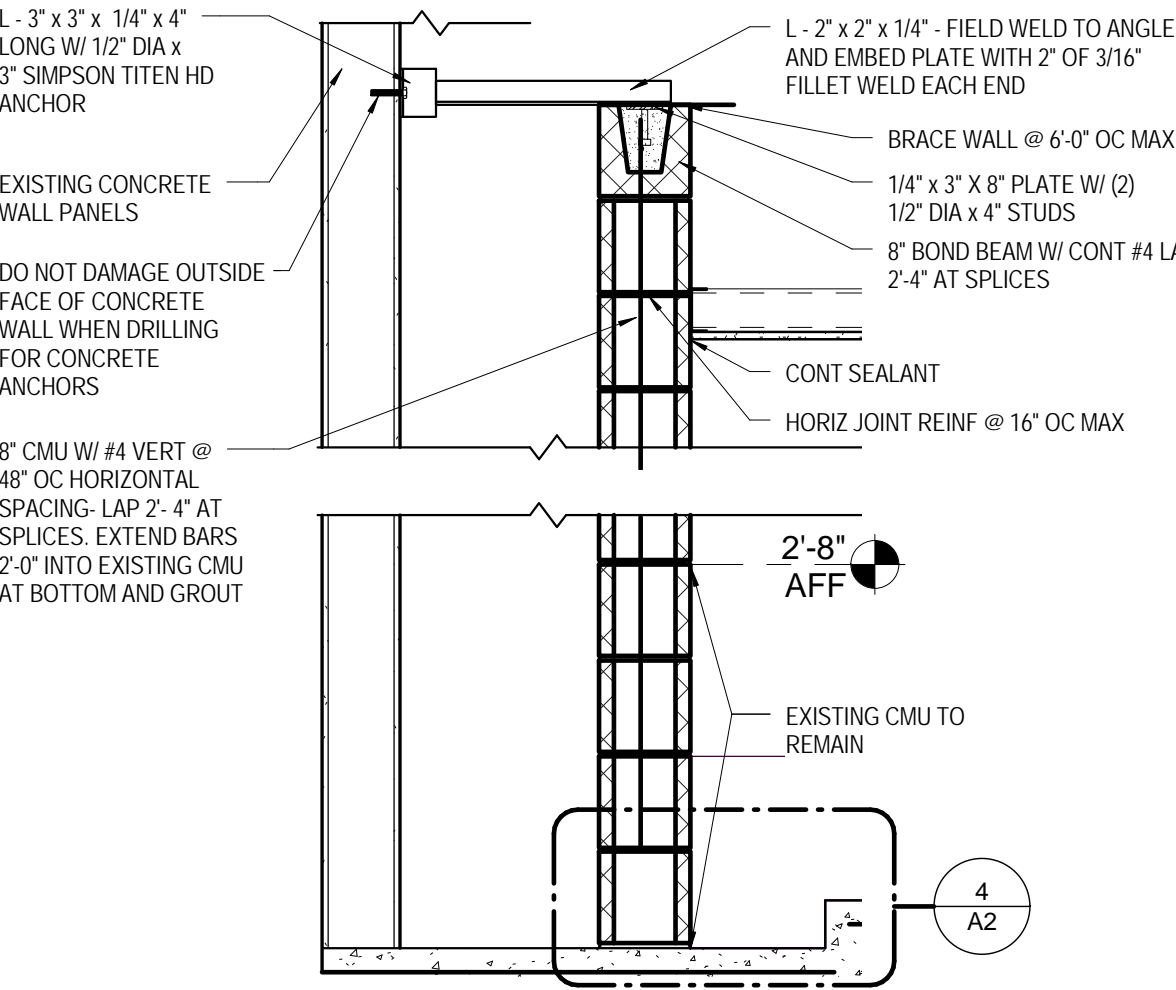


WALL TILE LEGEND

- CT-1
- EXISTING TILE WALL BASE TO REMAIN

TYPICAL WALL TILE

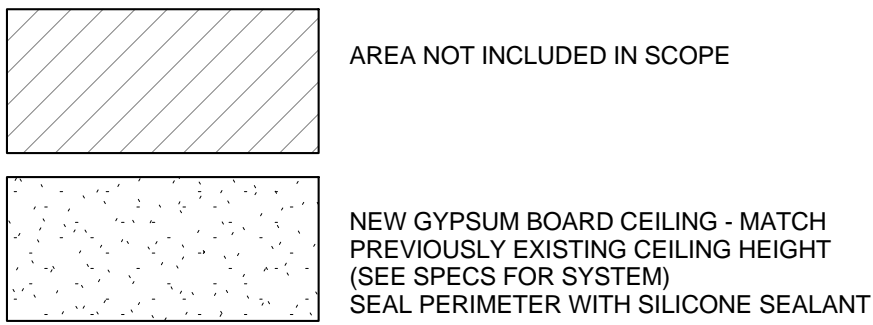
SCALE: 1/2" = 1'-0"



WALL DETAIL 1

SCALE: 3/4" = 1'-0"

RENOVATION LEGEND

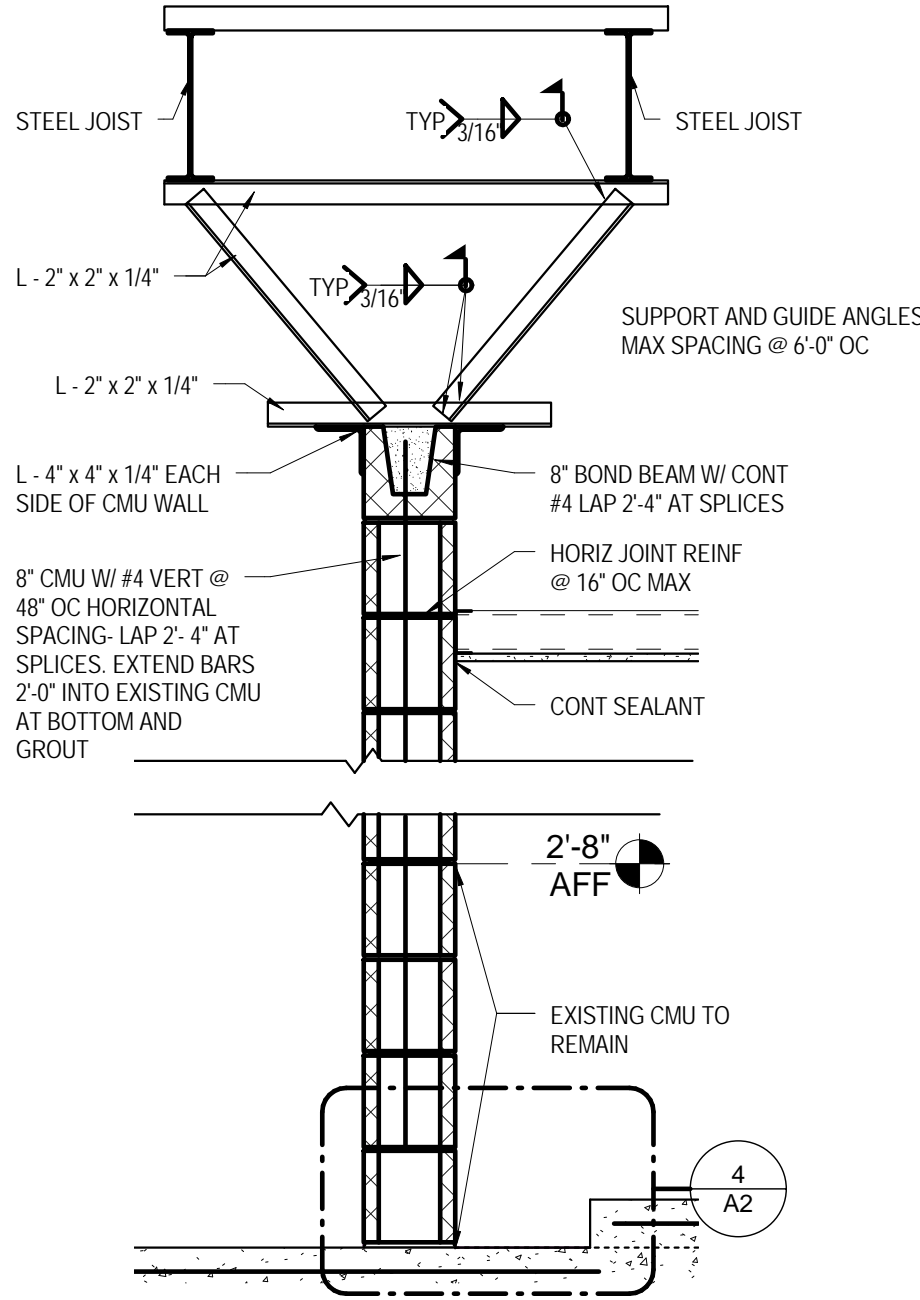


INTERIOR FINISH MATERIALS

- CERAMIC TILE (CT)
- CT-1
- MANUFACTURER: ROCA
- SERIES: LIFE
- COLOR: PERLA
- SIZE: 10" x 28"
- GROUT (GR)
- GR-1
- MANUFACTURER: LATICRETE
- COLOR: 24 - NATURAL GREY
- PAINT (P)
- P-1
- EPOXY CEILING PAINT TO MATCH EXISTING (WHITE)

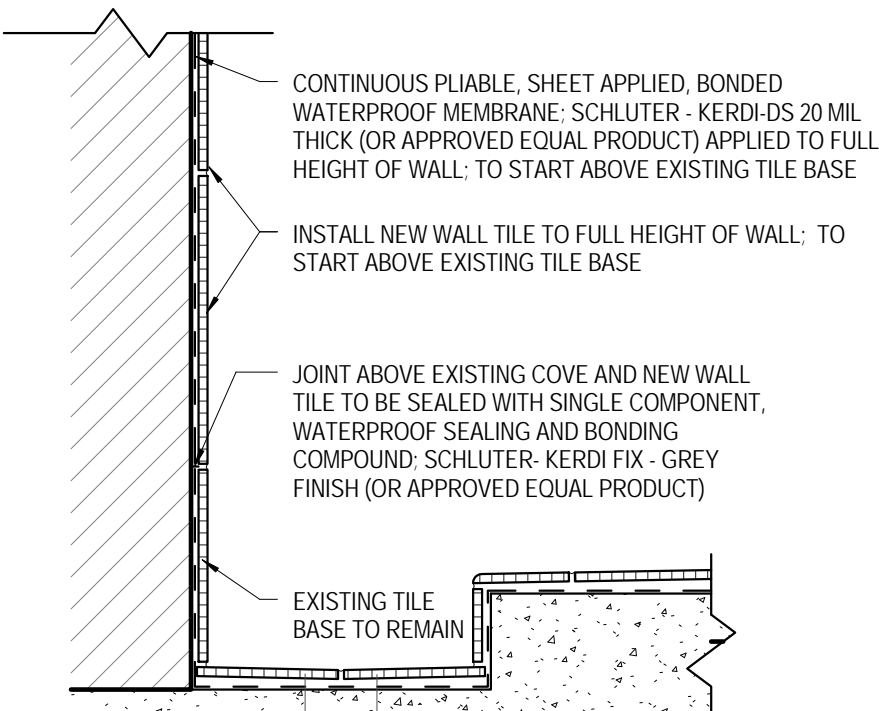
CMU NOTES:

- A.
- CONCRETE MASONRY UNITS: ASTM C90, GRADE N, LIGHTWEIGHT.
- B.
- GROUT: 2500 PSI COARSE GROUT IN ACCORDANCE WITH ASTM C476, WITH 8" TO 11" SLUMP. GROUT ALL CELLS WHICH CONTAIN REINFORCEMENT.
- C.
- MORTAR: TYPE S IN ACCORDANCE WITH ASTM C270
- D.
- LAP ALL #4 BARS 2'-4"



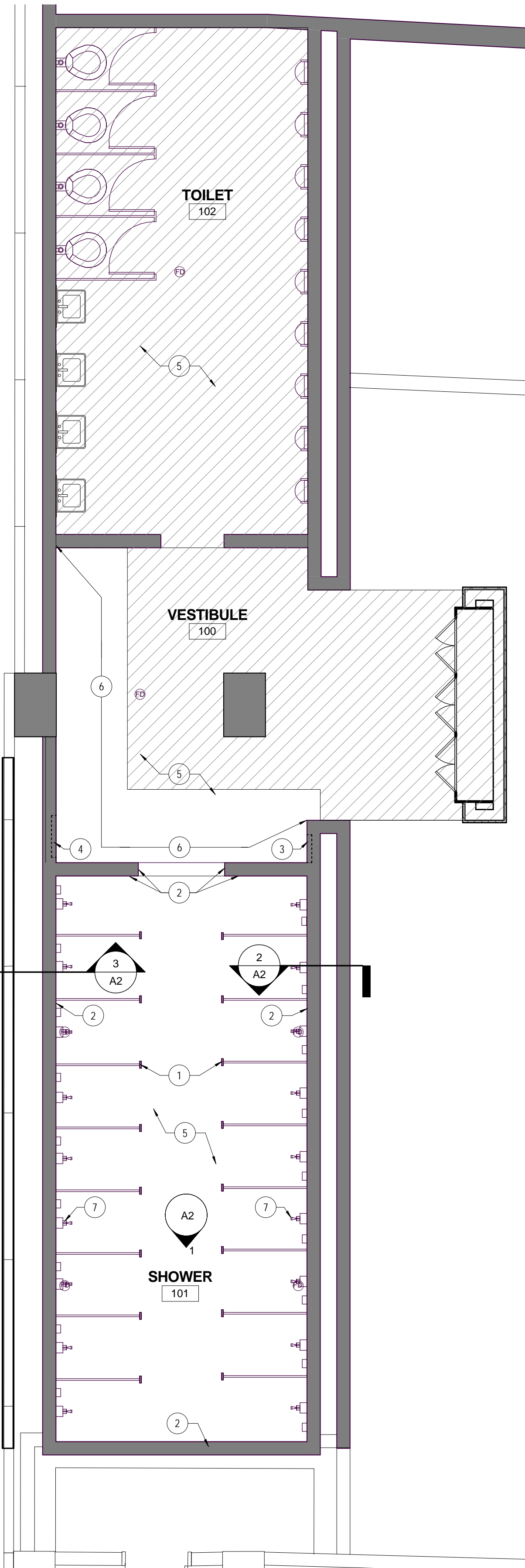
WALL DETAIL

SCALE: 3/4" = 1'-0"



WALL TILE SECTION

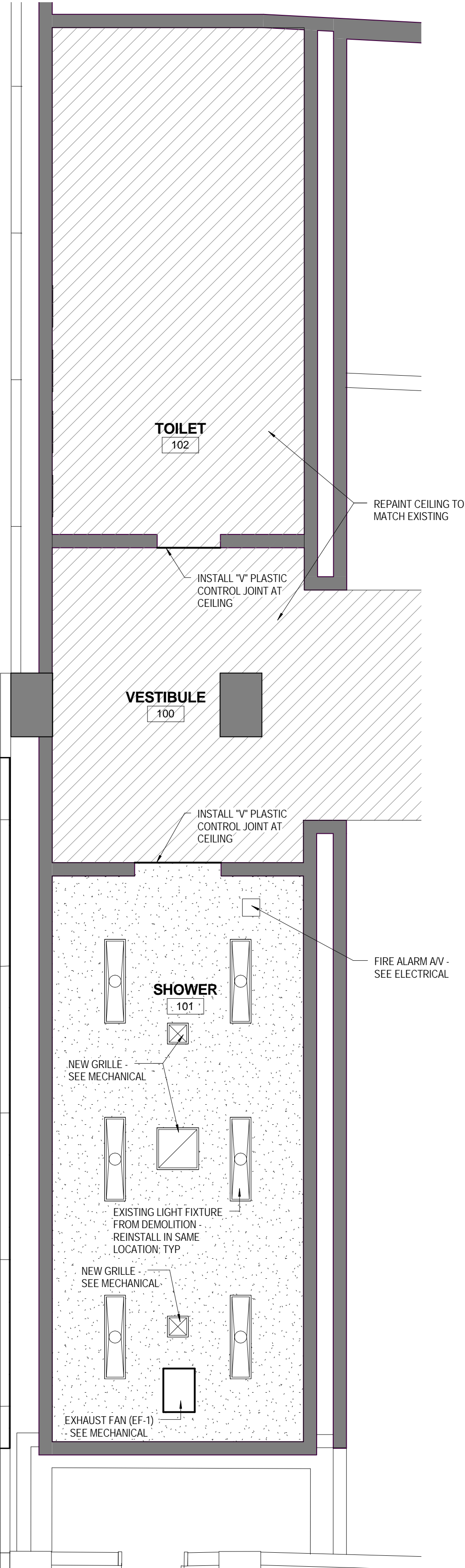
SCALE: 1 1/2" = 1'-0"



RENOVATION FLOOR PLAN

SCALE: 1/4" = 1'-0"

CONCRETE SLAB PATCHING:
AT AREAS SHOWN ON PLUMBING DRAWINGS FOR NEW VALVES AT CONCOURSE AREA, PATCH CONCRETE WITH 4,000 PSI CONCRETE SMOOTHED FLUSH WITH ADJACENT CONCRETE. SEE P1 AND P2 FOR ADDITIONAL INFORMATION.



RENOVATION CEILING PLAN

SCALE: 1/4" = 1'-0"



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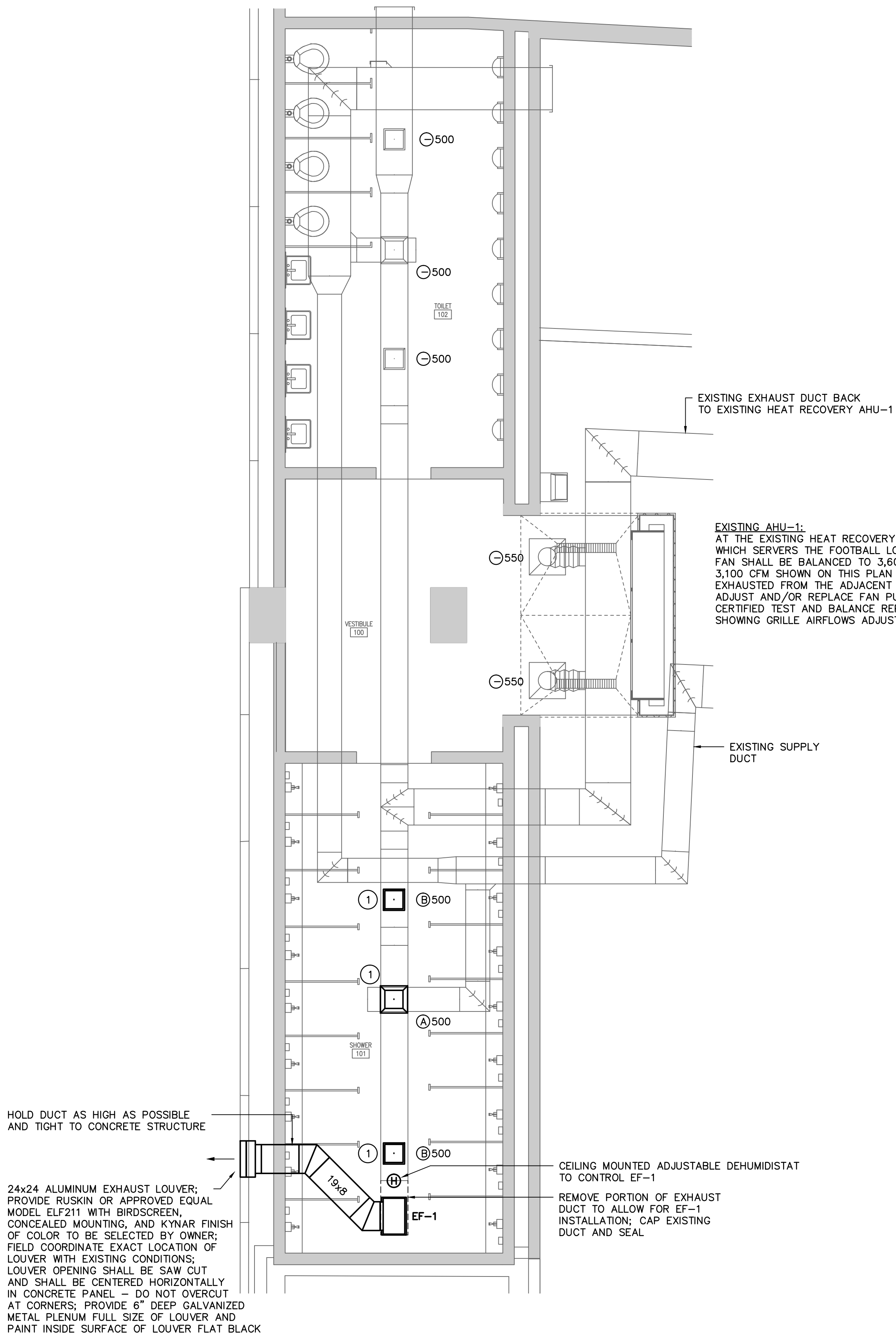
REVISION DATE

TITLE
RENOVATION FLOOR PLAN, CEILING PLAN, AND NOTES

SHEET NO

A2

N:\PROJECTS\15125\DRAWINGS\HVAC\15125-M1.dwg



1
M1

FLOOR PLAN
SCALE: 1/4" = 1'-0"

AIR DISTRIBUTION SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS
(A)	LOUVERED SUPPLY	PRICE	AMDE	SURFACE	351-500	12"x12"	18"x18"	25	1,2,3,4
(B)	LOUVERED EXHAUST	PRICE	97	SURFACE	0-500	12"x12"	14"x14"	25	1,2,4

1. PROVIDE WITH STANDARD WHITE FINISH.
2. PROVIDE ALUMINUM CONSTRUCTION.
3. PROVIDE WITH 4-WAY THROW AND BEVELLED FRAME.
4. PROVIDE WITH OPPOSED BLADE BALANCING DAMPER.

EXHAUST FAN SCHEDULE

TAG	GREENHECK MODEL NO.	TYPE	CFM	ESP	MOTOR H.P./W	SONES (MAX.)	REMARKS
EF-1	SP-A1550	CEILING	1,500	0.25	640 W	10	1,2

1. PROVIDE WITH WHITE ALUMINUM CEILING GRILLE, BACKDRAFT DAMPER, DISCONNECT SWITCH, AND FAN MOUNTED SPEED CONTROL.
2. PROVIDE CEILING MOUNTED DEHUMIDISTAT ADJUSTABLE FROM 20% TO 80% RH AND WIRED TO OPERATE FAN.

NOTES TO SHEET

1. REMOVE EXISTING GRILLE/DIFFUSER AND INSTALL NEW IN NEW CEILING.

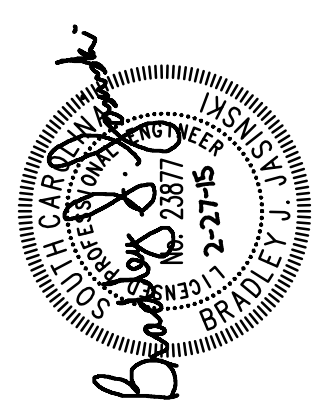
GENERAL NOTES

1. VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
2. DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
3. ALL DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
4. EXISTING PIPE, DUCTWORK, CONDUIT, ETC. THAT INTERFERES WITH THE ROUTING OF NEW SYSTEMS SHALL BE RELOCATED. THIS CONTRACTOR SHALL INCLUDE THE COST OF SUCH IN HIS BID UNLESS NOTED OTHERWISE.
5. ALL MECHANICAL ITEMS EXTENDING THROUGH WALLS SHALL BE FLASHED AND COUNTERFLASHED.
6. THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
7. THIS CONTRACTOR SHALL DO ALL CONTROL WIRING. ELECTRICAL CONTRACTOR WILL DO ALL POWER WIRING. ALL WIRING SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE. CONTROL WIRING SHALL BE ROUTED IN EMT CONDUIT AND CONCEALED WITHIN WALLS AND ABOVE CEILINGS.
8. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.

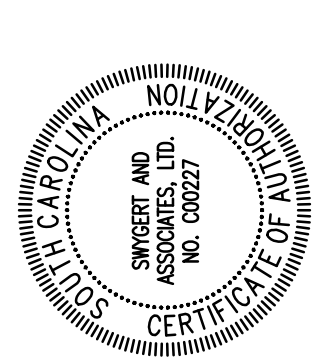
LEGEND

SYMBOL	DESCRIPTION
(A)100	TYPE "A" DIFFUSER, 100 CFM
(B)100	EXISTING DIFFUSER, 100 CFM
(H)	RELATIVE HUMIDITY SENSOR

A/E SEAL



CORPORATE SEAL



PROJECT TITLE

PLUMBING REPAIRS AND MODIFICATIONS,
WBS
UNIVERSITY OF SOUTH CAROLINA
GEORGE RODGERS BLVD.
AND SUFFOLK

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PHASE
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PROJECT NO. 15.162.00
STATE PROJECT NO. CP00419682

REVISION DATE

TITLE
FLOOR PLAN,
NOTES,
SCHEDULES, AND
LEGEND

SHEET NO

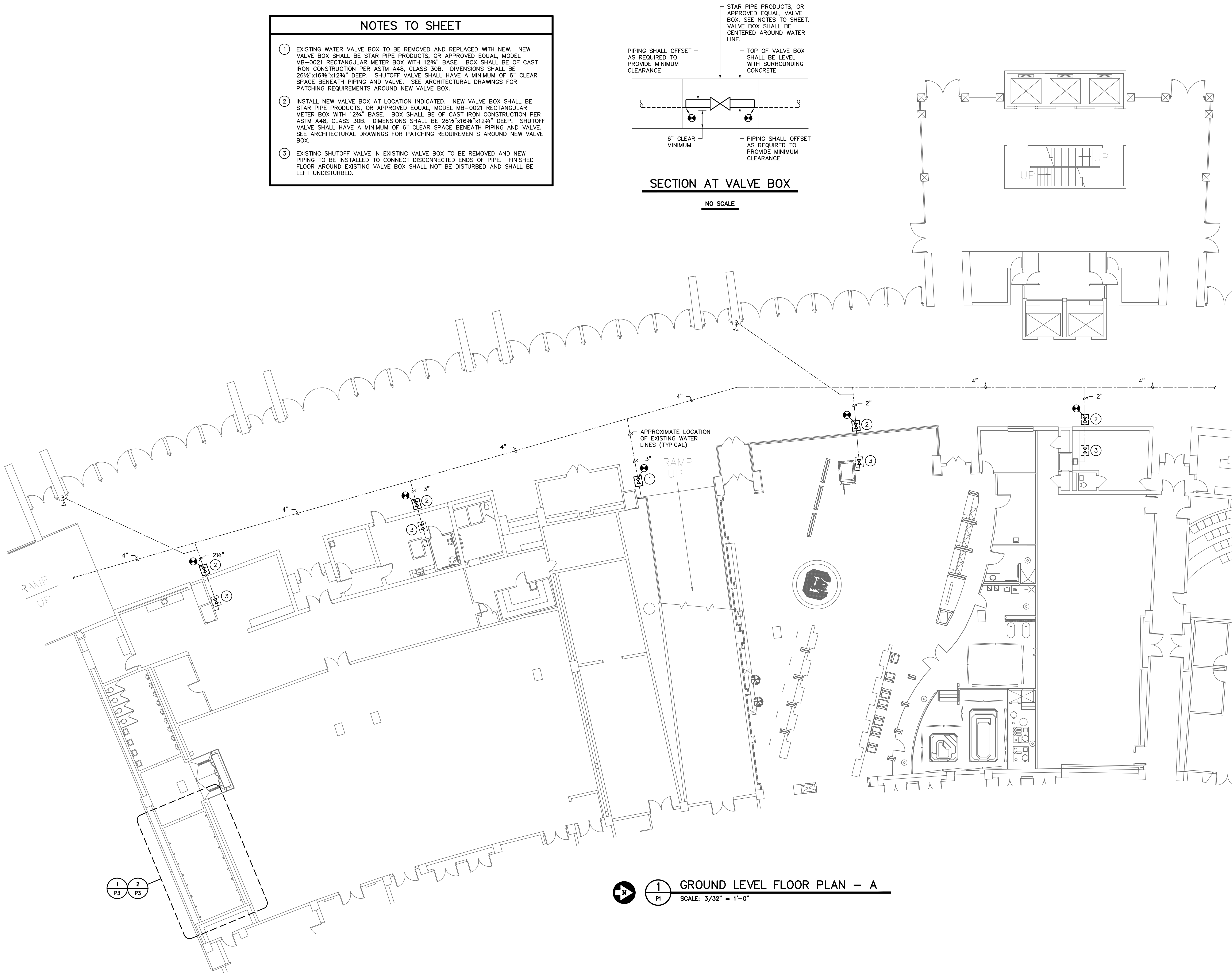
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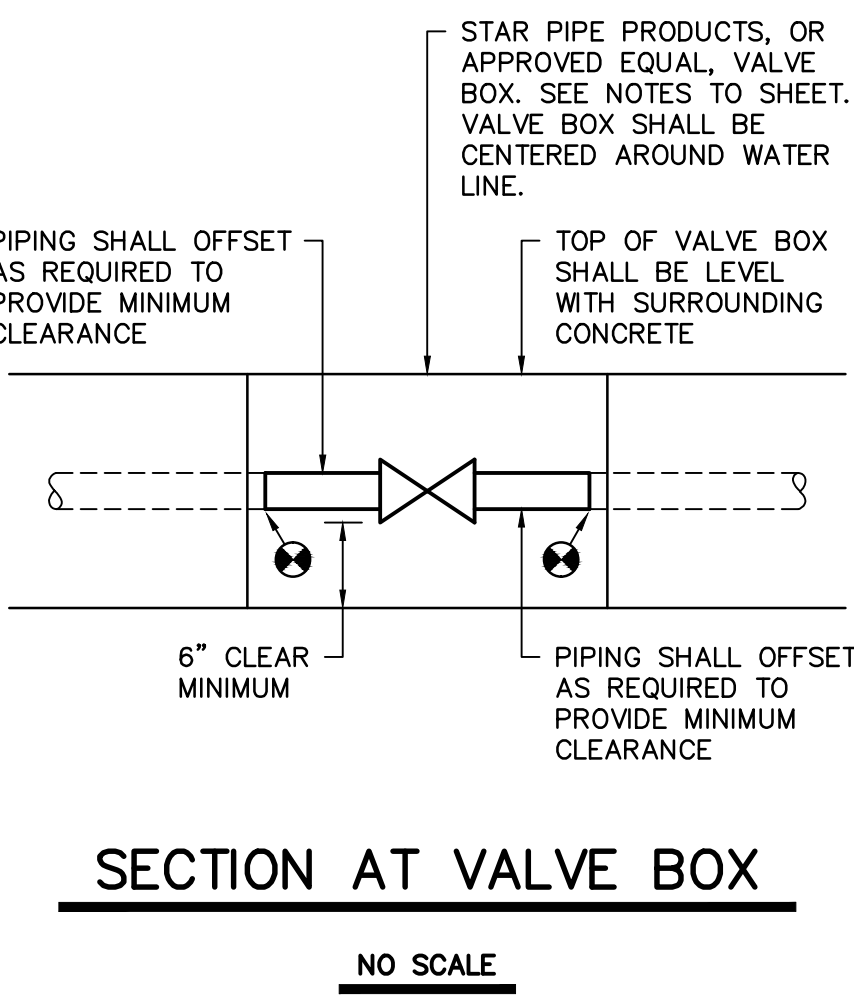
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- NOTES TO SHEET**
- EXISTING WATER VALVE BOX TO BE REMOVED AND REPLACED WITH NEW. NEW VALVE BOX SHALL BE STAR PIPE PRODUCTS, OR APPROVED EQUAL, MODEL MB-0021 RECTANGULAR METER BOX WITH 12 $\frac{3}{4}$ " BASE. BOX SHALL BE OF CAST IRON CONSTRUCTION PER ASTM A48, CLASS 30B. DIMENSIONS SHALL BE 26 $\frac{1}{2}$ "x16 $\frac{3}{8}$ "x12 $\frac{3}{4}$ " DEEP. SHUTOFF VALVE SHALL HAVE A MINIMUM OF 6" CLEAR SPACE BENEATH PIPING AND VALVE. SEE ARCHITECTURAL DRAWINGS FOR PATCHING REQUIREMENTS AROUND NEW VALVE BOX.
 - INSTALL NEW VALVE BOX AT LOCATION INDICATED. NEW VALVE BOX SHALL BE STAR PIPE PRODUCTS, OR APPROVED EQUAL, MODEL MB-0021 RECTANGULAR METER BOX WITH 12 $\frac{3}{4}$ " BASE. BOX SHALL BE OF CAST IRON CONSTRUCTION PER ASTM A48, CLASS 30B. DIMENSIONS SHALL BE 26 $\frac{1}{2}$ "x16 $\frac{3}{8}$ "x12 $\frac{3}{4}$ " DEEP. SHUTOFF VALVE SHALL HAVE A MINIMUM OF 6" CLEAR SPACE BENEATH PIPING AND VALVE. SEE ARCHITECTURAL DRAWINGS FOR PATCHING REQUIREMENTS AROUND NEW VALVE BOX.
 - EXISTING SHUTOFF VALVE IN EXISTING VALVE BOX TO BE REMOVED AND NEW PIPING TO BE INSTALLED TO CONNECT DISCONNECTED ENDS OF PIPE. FINISHED FLOOR AROUND EXISTING VALVE BOX SHALL NOT BE DISTURBED AND SHALL BE LEFT UNDISTURBED.



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TITLE
**GROUND LEVEL
FLOOR PLAN - A**

SHEET NO

REVISION DATE

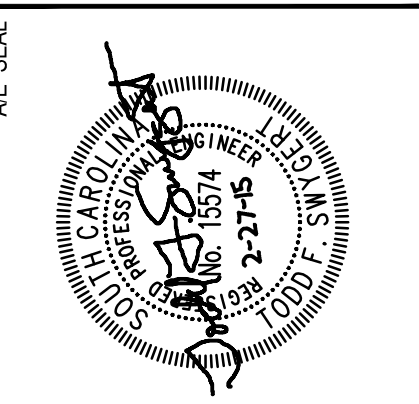
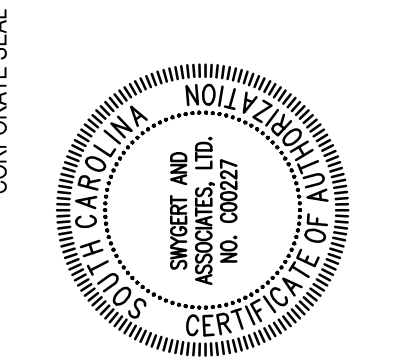
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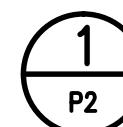
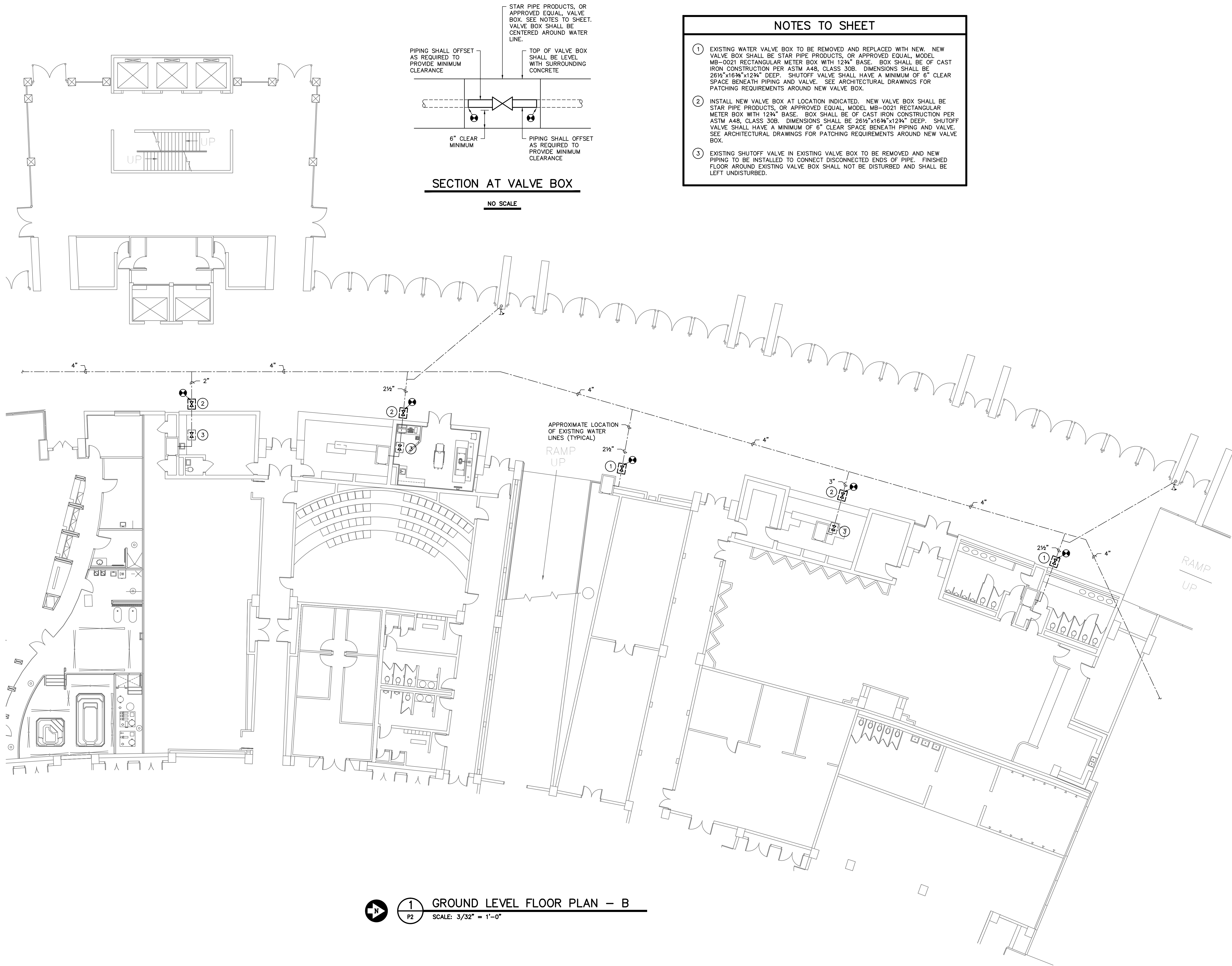
PROJECT TITLE
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GEORGE RODGERS BLVD.
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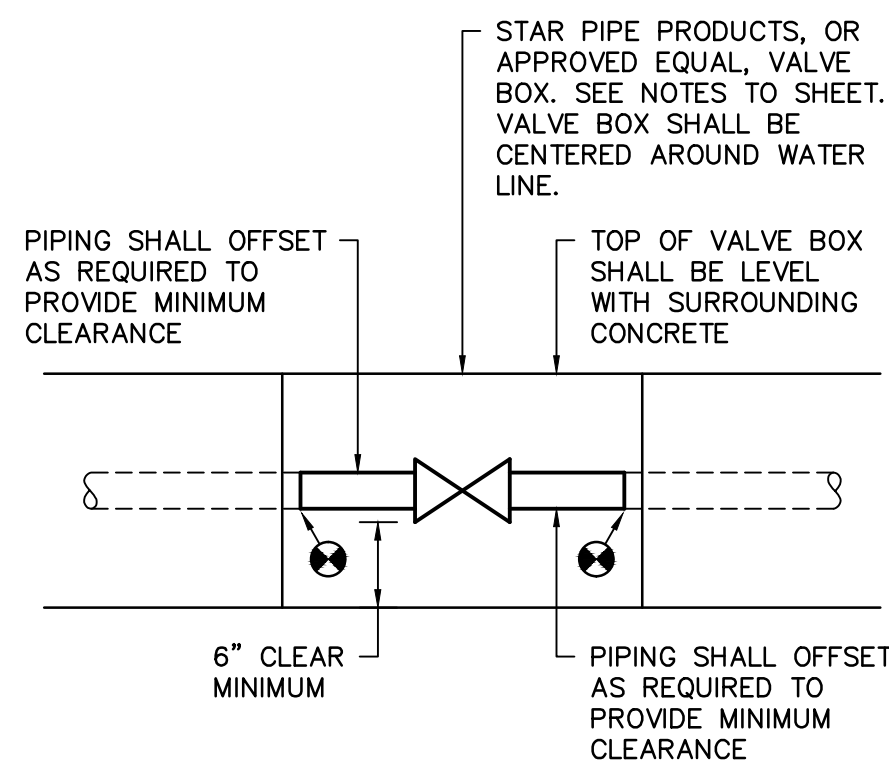
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GROUND LEVEL FLOOR PLAN - B

SCALE: 3/32" = 1'-0"



SECTION AT VALVE BOX

NO SCALE

NOTES TO SHEET

- EXISTING WATER VALVE BOX TO BE REMOVED AND REPLACED WITH NEW. NEW VALVE BOX SHALL BE STAR PIPE PRODUCTS, OR APPROVED EQUAL, MODEL MB-0021 RECTANGULAR METER BOX WITH 12 3/4" BASE. BOX SHALL BE OF CAST IRON CONSTRUCTION PER ASTM A48, CLASS 30B. DIMENSIONS SHALL BE 26 1/2" X 16 1/8" X 12 3/4" DEEP. SHUTOFF VALVE SHALL HAVE A MINIMUM OF 6" CLEAR SPACE BENEATH PIPING AND VALVE. SEE ARCHITECTURAL DRAWINGS FOR PATCHING REQUIREMENTS AROUND NEW VALVE BOX.
- INSTALL NEW VALVE BOX AT LOCATION INDICATED. NEW VALVE BOX SHALL BE STAR PIPE PRODUCTS, OR APPROVED EQUAL, MODEL MB-0021 RECTANGULAR METER BOX WITH 12 3/4" BASE. BOX SHALL BE OF CAST IRON CONSTRUCTION PER ASTM A48, CLASS 30B. DIMENSIONS SHALL BE 26 1/2" X 16 1/8" X 12 3/4" DEEP. SHUTOFF VALVE SHALL HAVE A MINIMUM OF 6" CLEAR SPACE BENEATH PIPING AND VALVE. SEE ARCHITECTURAL DRAWINGS FOR PATCHING REQUIREMENTS AROUND NEW VALVE BOX.
- EXISTING SHUTOFF VALVE IN EXISTING VALVE BOX TO BE REMOVED AND NEW PIPING TO BE INSTALLED TO CONNECT DISCONNECTED ENDS OF PIPE. FINISHED FLOOR AROUND EXISTING VALVE BOX SHALL NOT BE DISTURBED AND SHALL BE LEFT UNDISTURBED.

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TITLE
GROUND LEVEL
FLOOR PLAN - B

SHEET NO

REVISION DATE

STATE PROJECT NO. CP00419882

PROJECT NO. 15.162.00

ISSUE DATE 02.27.2015

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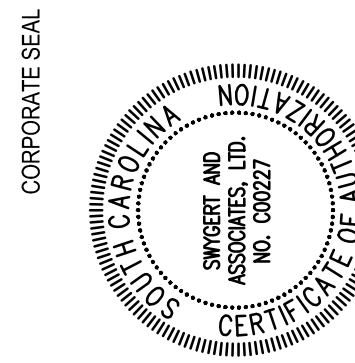
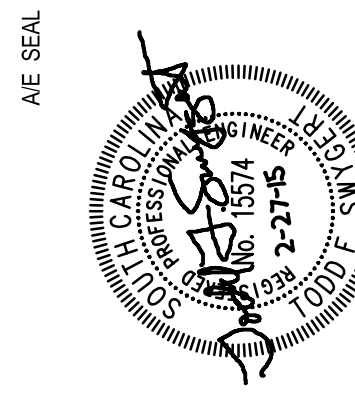
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PROJECT TITLE


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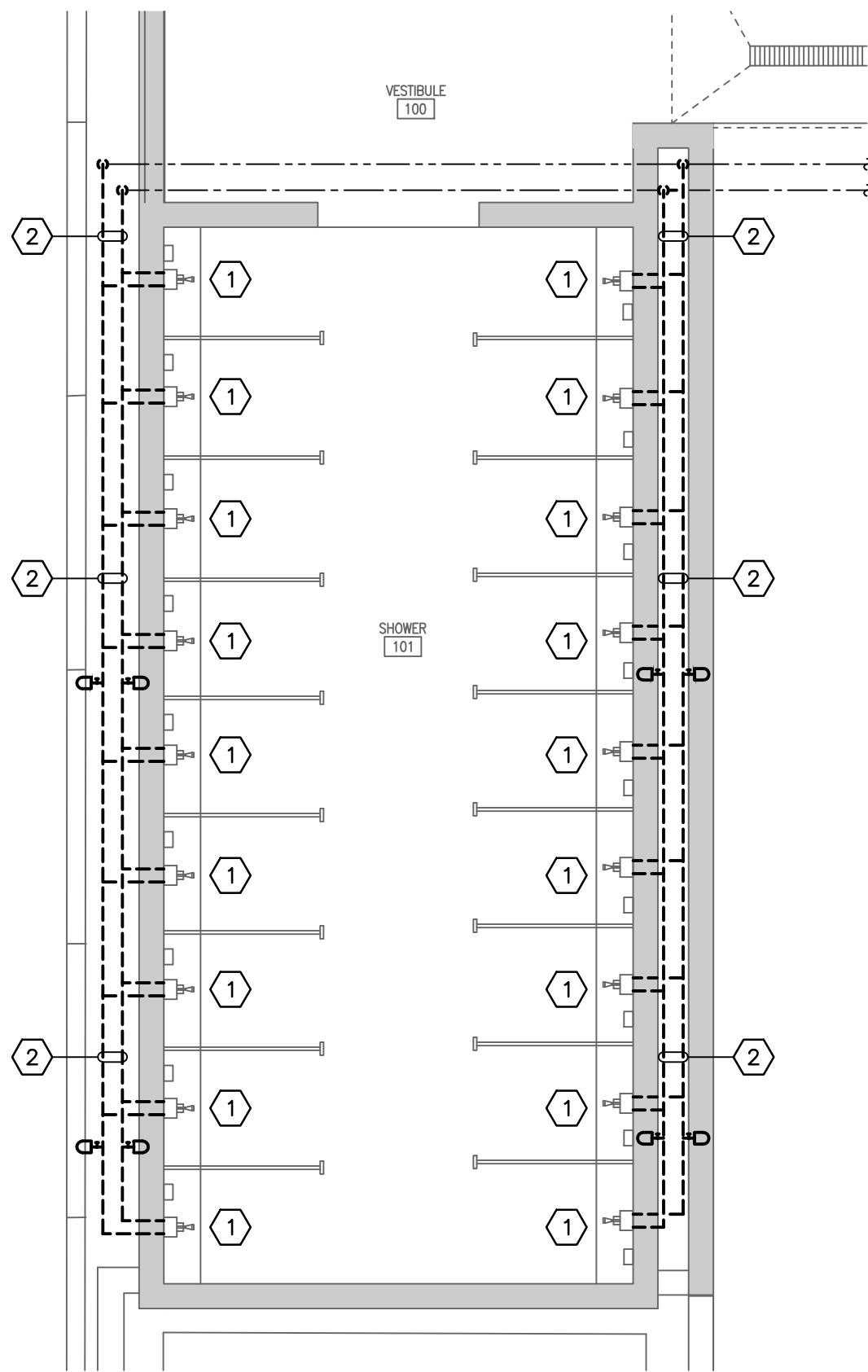
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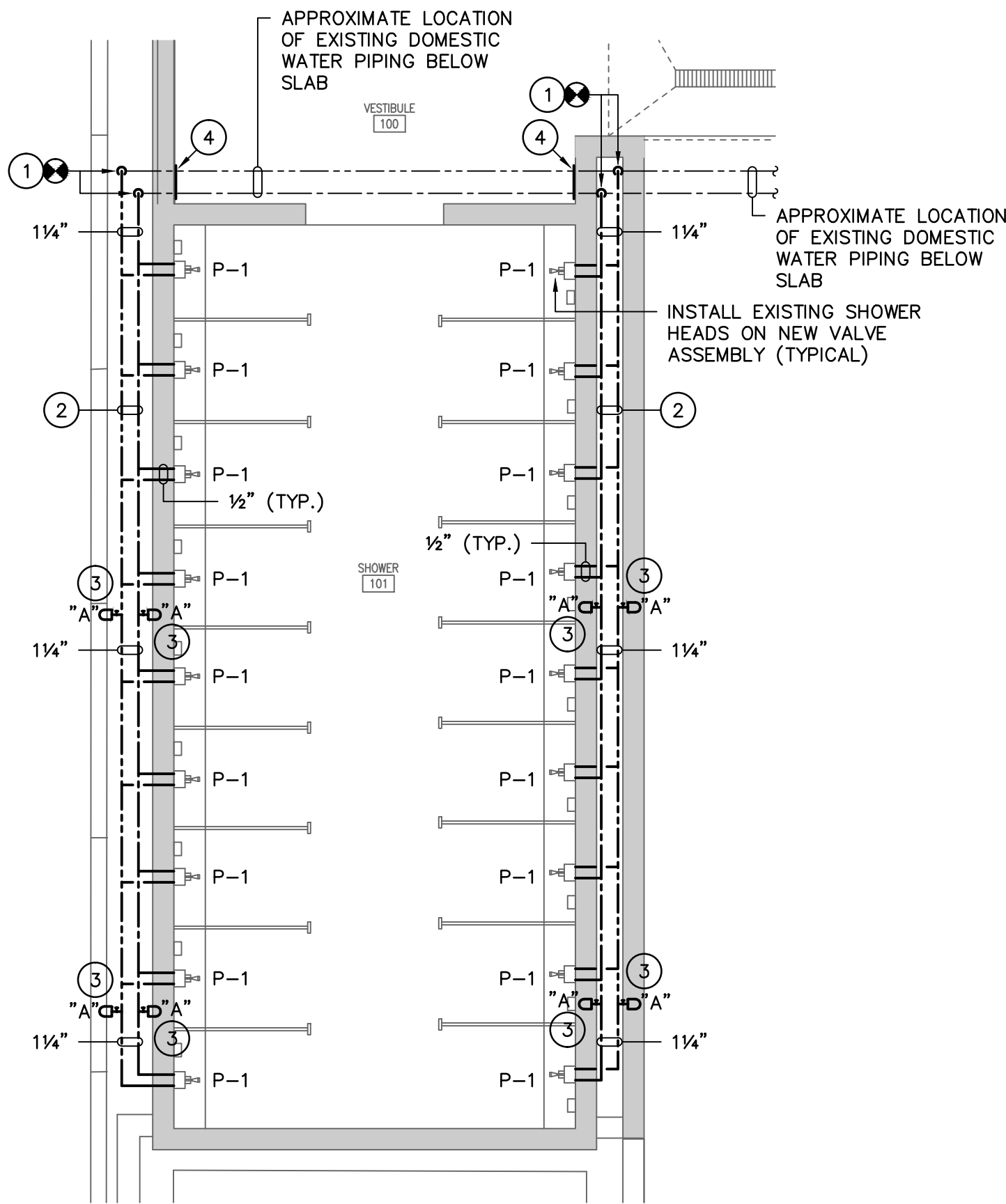
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 **1 FLOOR PLAN — DEMOLITION**
P3 SCALE: 1/4" = 1'-0"



 **2 FLOOR PLAN — RENOVATION**
P3 SCALE: 1/4" = 1'-0"



PLUMBING FIXTURE SCHEDULE								
P. NO.	FIXTURE	MFR.	NAME	MFRS. NO.	SIZE	MIN. SUPPLY		REMARKS
						CW	HW	
P-1	SHOWER	SYMMONS	HYDAPIPE	1-901-22 (MODIFIED)	- - -	1/2"	1/2"	MODIFIED TO HAVE SHOWER HEAD HEIGHT AT 8'-9" AND VALVE BODY AT 4'-0" ABOVE FINISHED FLOOR. STAINLESS STEEL COVERING TO BE ADJUSTED ACCORDINGLY. VALVE SHALL BE COMPLETE WITH LEVER HANDLE AND NO SHOWER HEAD.

- DEMOLITION NOTES**
- EXISTING SHOWER VALVE ASSEMBLY AND PIPING TO BE REMOVED COMPLETELY. EXISTING SHOWER HEADS TO BE REMOVED AND REINSTALLED ON NEW SHOWER VALVE ASSEMBLY.
 - EXISTING SUPPLY PIPING IN CHASE TO BE REMOVED BACK TO 4" ABOVE FINISHED FLOOR.

- GENERAL NOTES**
- ALL WORK SHALL BE PERFORMED ACCORDING TO ALL LOCAL, STATE, NATIONAL CODES, AND THE 2012 INTERNATIONAL PLUMBING CODE.
 - THIS CONTRACTOR SHALL, PRIOR TO BIDDING, VISIT SITE AND DETERMINE SCOPE OF WORK AND POINTS OF CONNECTION FOR NEW WORK.
 - DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS, FIXTURE LOCATIONS, ETC.
 - COORDINATE CLOSELY WITH ALL WORK DONE UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE AND CONFLICT.
 - ALL HEIGHTS LISTED SHALL BE RELATIVE TO THE FINISHED FLOOR WHERE THE USER WILL STAND, NOT THE DRAINAGE TRENCH ADJACENT TO THE WALL.
 - EXISTING INFORMATION TAKEN FROM OWNERS RECORD SET OF DRAWINGS DATED OCTOBER 1970 AND OCTOBER 1971.

- NOTES TO SHEET**
- CONNECT TO EXISTING SUPPLY LINES AT 4" ABOVE FINISHED FLOOR SLAB (MAXIMUM). OFFSET AS REQUIRED SO THAT NEW SHUTOFF VALVES ARE LOCATED BEHIND NEW ACCESS PANELS. SEE ARCHITECTURAL.
 - PIPING TO ROUTED HORIZONTALLY IN CHASE AT APPROXIMATELY 3'-6" ABOVE FINISHED FLOOR.
 - EXTEND SHOCK ABSORBER TO ABOVE CMU WALL.
 - ACCESS PANEL (BY OTHERS). LOCATE SHUTOFF VALVES AT APPROXIMATELY 3'-0" ABOVE FINISHED FLOOR. ACCESS PANEL SHALL BE CENTERED ON VALVE LOCATION.

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TITLE
FLOOR PLANS,
NOTES, SCHEDULE,
AND LEGEND

SHEET NO

PROJECT TITLE
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WBS
UNIVERSITY OF SOUTH CAROLINA
GEORGE RODGERS BLVD.
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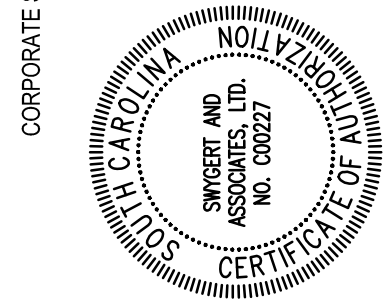
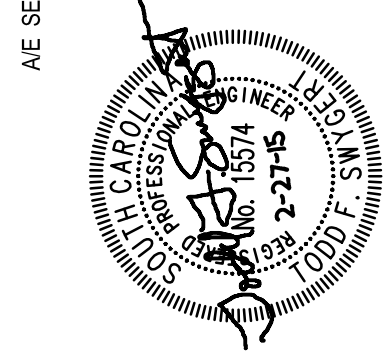
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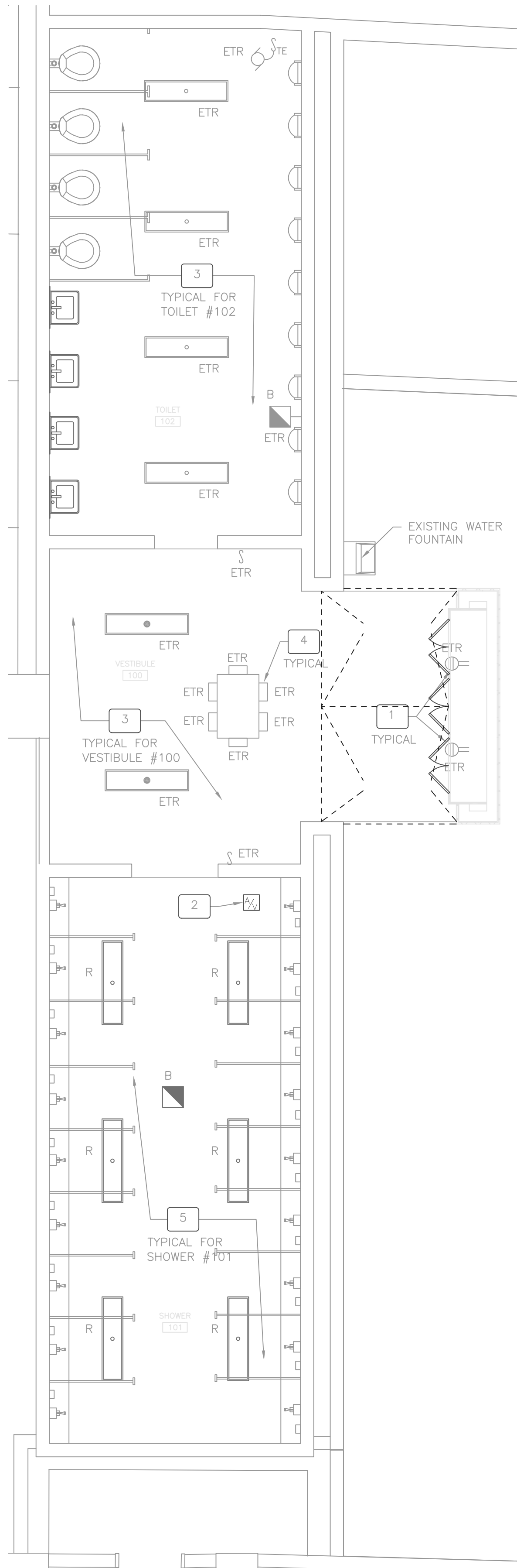
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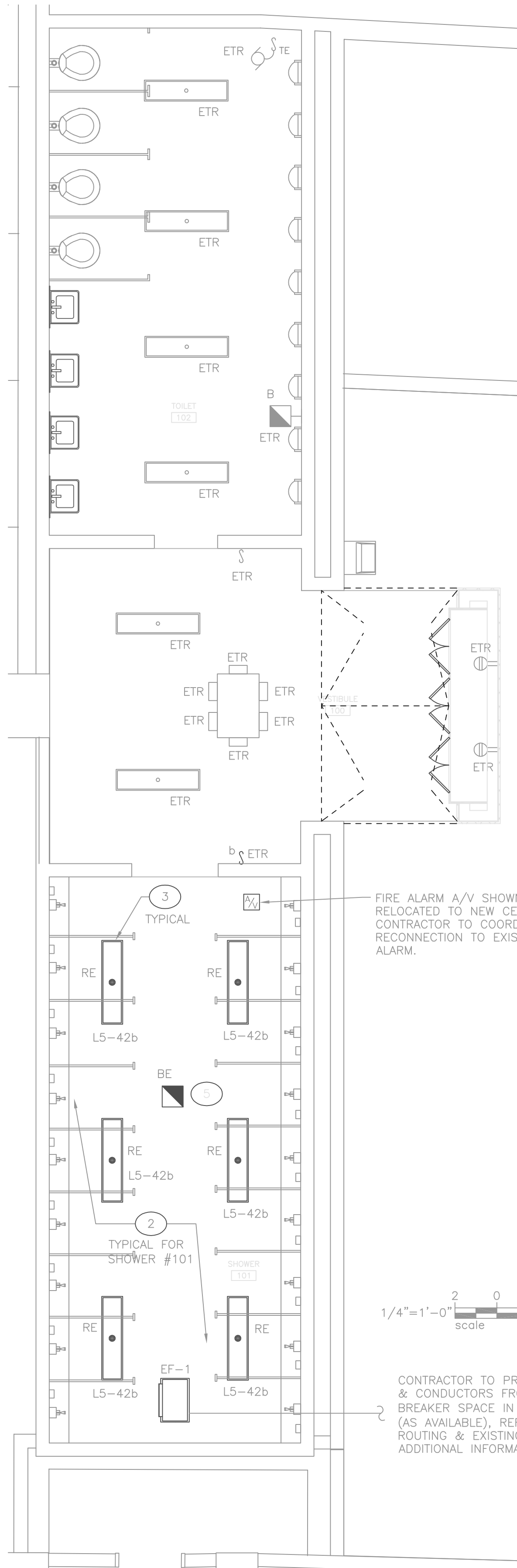
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1 ELECTRICAL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE								
SYMBOL	TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	OPTICAL ELEMENT	MOUNTING	VOLTS	LAMPS
	R & RE	4' FLUORESCENT FIXTURE, WET LOCATION	EXISTING SHOWN RELOCATED	N/A	POLYCARBONATE LENS	CEILING	120	2 - F32T8/TL741/ALTO
	B & BE	12" SQUARE FLUORESCENT FIXTURE	EXISTING SHOWN RELOCATED	N/A	POLYCARBONATE LENS	WALL OR CEILING	120	1 - PL-C 26W/41/ALTO

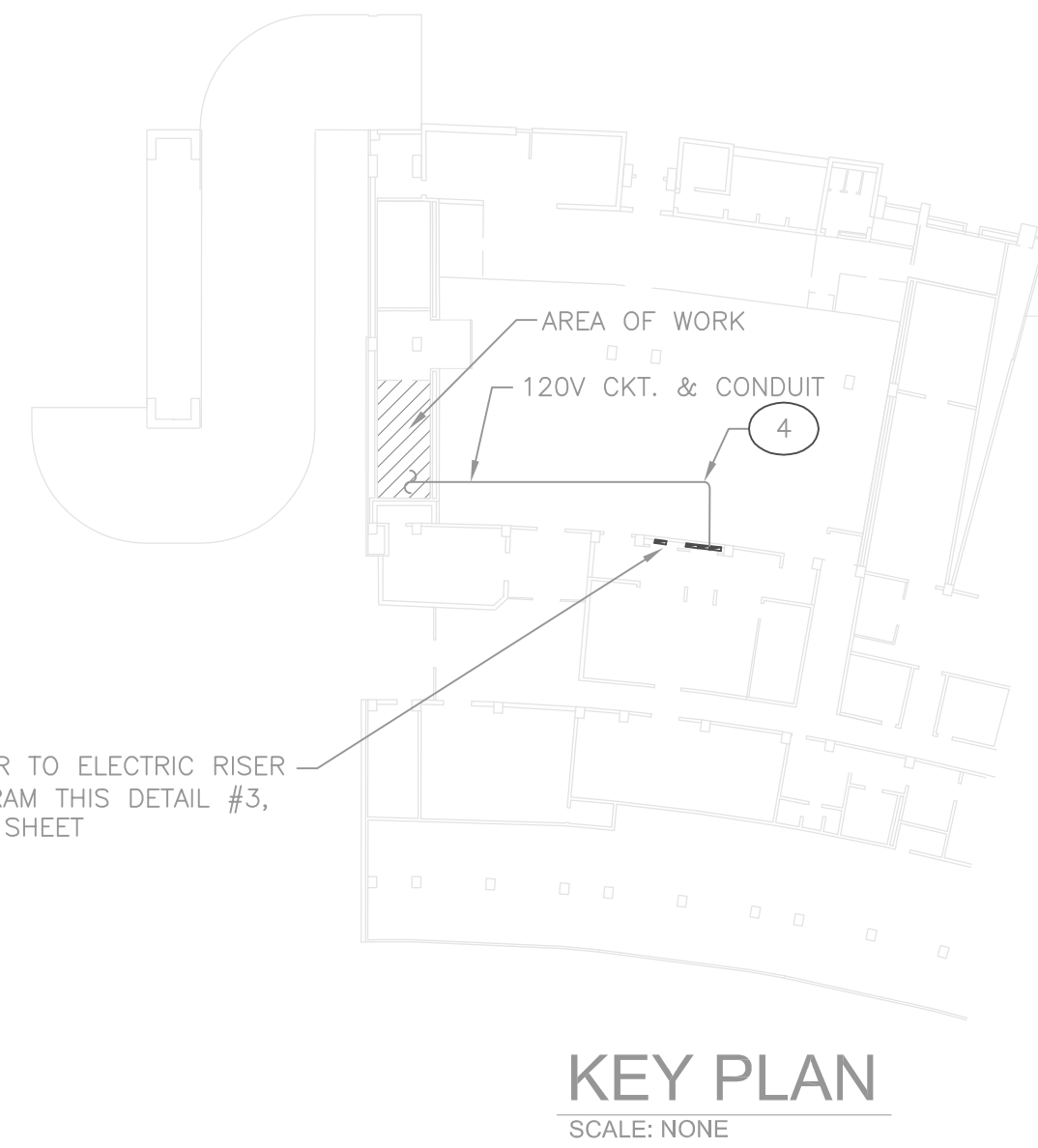
NOTES:
* LAMP DESCRIPTIONS ARE PHILIPS CATALOG NUMBERS (UNLESS NOTED OTHERWISE) OR APPROVED EQUAL.
* FIXTURE MANUFACTURER & CATALOG NUMBERS ARE SHOWN FOR REFERENCE ONLY AND BASED UPON ASBUILT RECORDS.



2 ELECTRICAL RENOVATION CEILING PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOL LEGEND	
	EXISTING LIGHT FIXTURES. FIXTURES LABELED "R" SHALL BE DISCONNECTED, REMOVED & STORED. FIXTURES LABELED "RE" ARE RELOCATED FIXTURE LOCATIONS POST CONSTRUCTION.
	EXISTING SINGLE POLE SWITCH TO BE REMOVED BY THIS CONTRACTOR, REUSE EXISTING BOX AND CONDUCTORS.
	EXISTING RECEPTACLE (SHOWN FOR REFERENCE ONLY)
	EXISTING CEILING MOUNTED FIRE ALARM VISUAL DEVICE FOR RELOCATION AFTER NEW CEILING IS INSTALLED.
	EXHAUST FAN "EF-1", REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
	EXHAUST FAN "EF-1", REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
	RENOVATION KEY NOTE CALLOUT (REFER TO NOTES)
	DEMOLITION KEY NOTE CALLOUT (REFER TO NOTES)

ABBREVIATIONS	
ABR	DESCRIPTION
ETR	EXISTING
EF	EXHAUST FAN
CLG	CEILING
FACP	FIRE ALARM CONTROL PANEL
J-BOX	JUNCTION BOX
NEC	NATIONAL ELECTRIC CODE
SD	SMOKE DETECTOR
UNO	UNLESS OTHERWISE NOTED
W/	WITH
WP	WEATHERPROOF

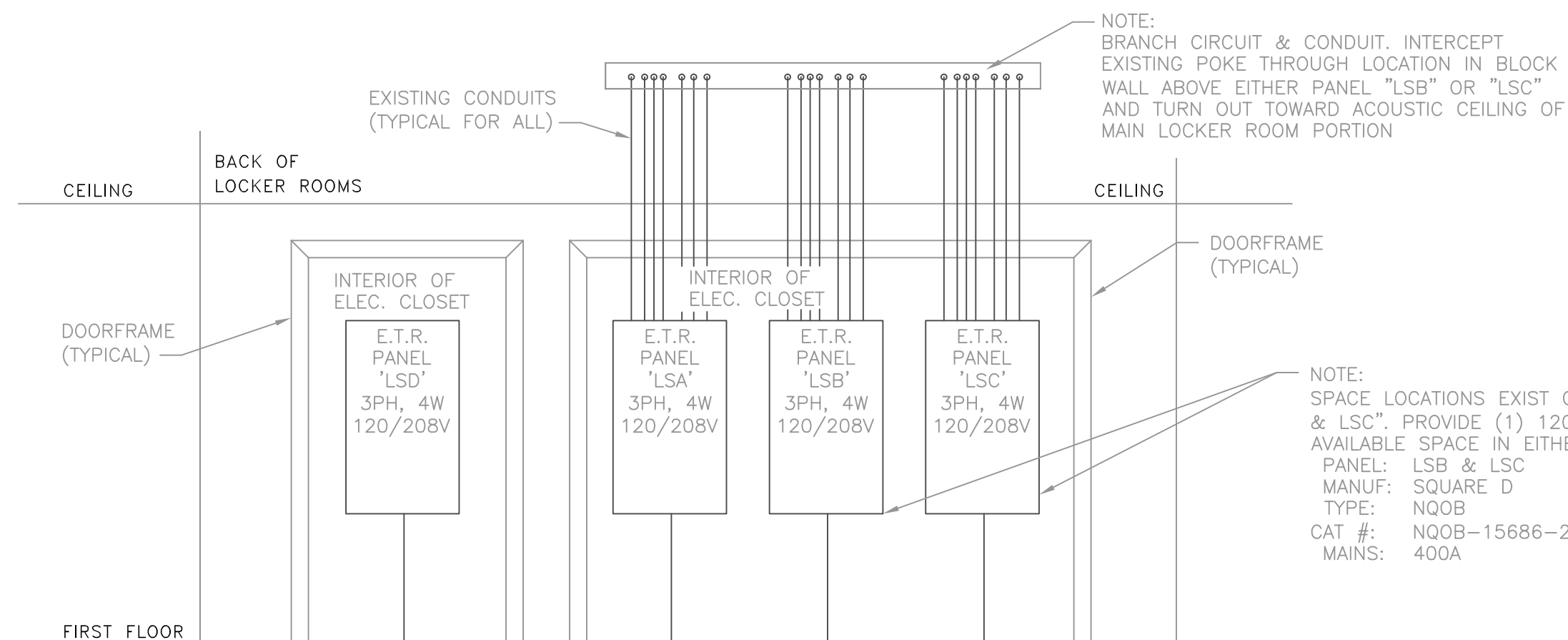


KEY PLAN
SCALE: NONE

- GENERAL NOTES
- AREAS OF WORK EXIST FOR THIS PROJECT WHICH ARE NOT ACCESSIBLE OR HAVE LIMITED ACCESS DURING DESIGN. AS SUCH CONTRACTOR SHALL VERIFY ALL CONDITIONS IN AREA OF WORK BEFORE ANY DEMOLITION BEGINS. ANY ELECTRICAL DEVICES NOT SHOWN SHALL BE IDENTIFIED AND THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED AS SOON AS POSSIBLE. NO ADDITIONAL ELECTRICAL REWORK SHALL COMMENCE WITHOUT COORDINATION OF BOTH ARCHITECT AND ENGINEER.
 - IN AREAS WHERE THE EXISTING CEILINGS ARE NOT SLATED TO BE REMOVED, THE CONTRACTOR SHALL WORK THRU THE EXISTING CEILINGS (SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR AREA OF WORK). THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY DAMAGED TILE OR GRID THAT IS A RESULT OF THEIR WORK.
 - SEAL ALL EXISTING AND NEW FIRE RATED WALL PENETRATIONS IN THE CONSTRUCTION AREA CREATED BY THE REMOVAL OF EXISTING ELECTRICAL CONDUIT, AS WELL AS THOSE CREATED BY NEWLY INSTALLED CONDUITS AND SLEEVES. CONTRACTOR SHALL ALSO PROVIDE DETAILS OF FIRESTOP SYSTEM UPON REQUEST. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF FIREWALLS.
 - REMOVE ALL ABANDONED CONDUIT, WIRE, AND COMMUNICATION CABLES ABOVE THE CEILING IN THE CONSTRUCTION AREA.
 - CONTRACTOR SHALL PROTECT ALL EXISTING LOW-VOLTAGE CABLING FROM DAMAGE. IF CONFLICTS ARISE, CONTACT ARCHITECT IMMEDIATELY TO DETERMINE STATUS OF CABLING. EXISTING CABLING THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
 - PROVIDE JUNCTION BOX COVER PLATES ON ALL EXISTING JUNCTION BOXES ABOVE THE CEILING IN THE CONSTRUCTION AREA.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH CONTRACT DOCUMENTS AND OTHER TRADES FOR ROUTING OF DUCTS, PIPES AND OTHER COMPONENTS WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING SOURCE OF RACEWAYS AND CABLING THAT ARE IN CONFLICT REGARDLESS OF WHETHER THEY SERVE DEVICES IN THE AREA OF WORK OR NOT. THE RELOCATION OF THESE RACEWAYS TO ASSIST IN AVOIDING THESE CONFLICTS SHALL ALSO BE INCLUDED AT NO ADDITIONAL COST TO OWNER.
 - WHEREVER ON THE ELECTRICAL DRAWINGS THE WORD "PROVIDE" IS USED, IT SHALL BE INFERRED TO MEAN "FURNISH AND INSTALL".
 - 20A/120V BRANCH CIRCUITS EXCEEDING 100' IN LENGTH FROM PANEL TO FARTHEST DEVICE OR FIXTURE SHALL USE NO. 10 CONDUCTORS AND 3/4"C.
 - RACEWAYS SHALL BE INSTALLED CONCEALED IN NEW WALL CONSTRUCTION ABOVE CEILINGS, BELOW FLOOR, AND IN OTHER CAVITIES TO THE GREATEST EXTENT POSSIBLE.
 - THE ARRANGEMENT, GROUPING, AND ROUTING OF BRANCH CIRCUITS SHALL BE PROVIDED AT THE CONTRACTOR'S DISCRETION IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICE FOR ELECTRICAL WORK, THE NATIONAL ELECTRICAL CODE REQUIREMENTS, LOCAL ORDINANCES, AND THE FOLLOWING:

- ELECTRICAL DEMOLITION KEY NOTES
- EXISTING ELECTRICAL DEVICES ON FEATURE WALL SHALL REMAIN CONNECTED IN CURRENT LOCATION.
 - REMOVE & STORE FIRE ALARM DEVICES. INSPECT & ADVISE OWNER IF REPLACEMENT IS NECESSARY TO ENSURE PROPER FUNCTIONALITY.
 - NO ELECTRICAL WORK IN SCOPE. ALL FIXTURES & DEVICES SHALL REMAIN CONNECTED IN CURRENT LOCATION. INSPECT ALL FIXTURES & DEVICES TO ENSURE PROPER FUNCTIONALITY & ADVISE OWNER OF ANY DEFICIENCIES. RELAMP, REPAIR OR REPLACE ONLY WITH EXPRESS WRITTEN CONSENT OF OWNER OR OWNERS REPRESENTATIVE. UNLESS NOTED OTHERWISE IN PLAN.
 - EXISTING HAND DRYERS TO REMAIN CONNECTED IN CURRENT LOCATION.
 - THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING & STORAGE OF, ALL LIGHT FIXTURES, FIRE ALARM DEVICES & EQUIPMENT DURING RENOVATION WHETHER SHOWN ON THE DRAWINGS OR NOT.

- ELECTRICAL RENOVATION KEY NOTES
- CONNECT RELOCATED FIXTURES TO EXISTING LIGHTING CIRCUITS. (CIRCUIT SHOWN IN PLAN FOR REFERENCE ONLY). REUSE EXISTING BREAKERS. PROVIDE #12 SOLID COPPER INSULATED CONDUCTORS IN EMT FOR EACH FIXTURE AFFECTED BY THIS RENOVATION. PROVIDE INSULATED (GREEN) GROUND CONDUCTOR IN CONDUIT WITH EACH BRANCH CIRCUIT.
 - EXISTING CIRCUIT PER AS-BUILT DRAWING. (TYPICAL)
 - CEILING MOUNT RELOCATED TYPE "RE" FIXTURES SECURELY TO SURFACE SO THERE ARE NO GAPS BETWEEN FIXTURE AND CEILING. ALL MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
 - LOCATE EXISTING CONDUIT RACEWAY (AT APPROXIMATELY THIS LOCATION) ABOVE ACOUSTIC CEILING & ROUTE BRANCH CIRCUIT ADJACENT TO EXISTING RACEWAYS FOR AN UN-INTERRUPTED PATH TO SHOWER AREA. MOUNT CONDUIT TIGHT TO STRUCTURE WHERE POSSIBLE & AVOID CONFLICT WITH EXISTING CONDITIONS.
 - RELOCATE TYPE "BE" EMERGENCY LIGHT FIXTURE IN SHOWER 101 (CEILING). REUSE AND EXTEND EXISTING GENERATOR-BACKED CIRCUIT AS REQUIRED. RE-USE EXISTING RELAY SO THAT THESE FIXTURES ARE NORMALLY OFF AND TURN ON WHEN NORMAL POWER FAILS.



3 EXISTING ELECTRICAL RISER
SCALE: 1/4" = 1'-0"

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GEORGE RODGERS BLVD. AND BUFF ROAD

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